

PROPOSED GROUP HOME & COMMUNITY FACILITY

LOT 112 GARDNER CIRCUIT, SINGLETON HEIGHTS NSW 2330



PROPERTY DESCRIPTION

LOT 112 / DP1256908
LOT 112 GARDNER CIRCUIT, SINGLETON HEIGHTS NSW 2330
SITE AREA - 1,503.4m²

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NOTE

GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURERS DETAILS AND TO COMPLY WITH CURRENT NCC.

ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS FOR ENGINEERS WIND RATING CONDITIONS STEEL ROOFING TO COMPLY WITH AS1562.1
PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.

GENERAL NOTES

ALL WINDOWS SHOWN AS VIEWED FROM OUTSIDE (REFER TO FLOOR PLANS FOR DOOR SWING)
BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE **BEFORE** COMMENCING WINDOW FABRICATION
ALL WINDOWS TO COMPLY WITH AS2047.ALL GLAZING TO COMPLY WITH AS1288
ALL WINDOWS TO COMPLY WITH BASIX/NATHERS REQUIREMENTS
ALL GLAZING TO BE CLEAR UNLESS NOTED OTHERWISE
ALL WINDOW FRAMES SHALL BE SELECTED ALUMINIUM SUITE(S) IN POWDERCOATED FINISH (colour TBD)
ALL OPENABLE GROUND-FLOOR WINDOWS, OTHER THAN HINGED GLAZED DOORS, SHALL BE LOCKABLE IN PARTLY OPEN POSITION (NOM 100mm OPENING) FOR VENTILATION WITH SECURITY
ALL WINDOWS TO COMPLY WITH BCA REQ'S FOR Protection of openable windows
PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS AND GLAZED DOORS

BY-LAWS AND CODES:

ALL WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA (NATIONAL CONSTRUCTION CODE), CURRENT
AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS.

THE FOLLOWING CODES ARE A RECOMMENDATION ONLY, ADDITIONAL CODES MAY BE REQUIRED:

AS 1288	GLASS IN BUILDINGS
AS 1562	DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING
AS 1680	ARTIFICIAL LIGHTING & VENTILATION
AS 1684	TIMBER FRAMING CODE
AS 1628	POOL FENCING
AS 2048	ROOF TILES
AS 2050	INSTALLATION OF ROOF TILES
AS 2870	RESIDENTIAL SLABS & FOOTINGS
AS 2904	DAMP PROOF COURSES & FLASHINGS
AS 3000	ELECTRICAL
AS 3500	PLUMBING & DRAINAGE
AS 3600	CONCRETE STRUCTURES
AS 3660	BARRIERS FOR SUBTERRANEAN TERMITES
AS 3700	MASONRY IN BUILDINGS
AS 3740	WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
AS 3786	SMOKE ALARMS
AS 3798	SITE PREPARATION
AS 4055	WIND LOADINGS FOR HOUSING
AS 4100	STEEL STRUCTURES

APPROVALS:

NO BUILDING WORK SHALL BE UNDERTAKEN PRIOR TO BUILDING APPROVAL BEING ISSUED BY A REGISTERED CERTIFIER OR LOCAL AUTHORITY.

BUILDER/CONTRACTORS:

BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE PROPRIETORS REPRESENTATIVE.
- USE WRITTEN DIMENSIONS ONLY.
- DO NOT SCALE OFF DRAWINGS.
- IF IN DOUBT, ASK

BUILDER / CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS ON SITE PRIOR TO CONSTRUCTION.
LEVELS SHOWN ON DRAWINGS ARE RECOMMENDED AND APPROXIMATE ONLY. IT SHALL BE THE BUILDERS / CONTRACTORS RESPONSIBILITY TO ENSURE THAT CORRECT GRADES ARE ATTAINED ON SITE.

BUILDER / CONTRACTOR SHALL CHECK & VERIFY THE SITING & ORIENTATION PRIOR TO CONSTRUCTION
SETOUT. CONSTRUCTION SETOUT TO BE CARRIED OUT BY A LICENSED SURVEYOR.

BUILDER / CONTRACTOR SHALL CHECK & VERIFY ALL SET-BACKS & HEIGHTS PRIOR TO CONSTRUCTION.
NO FOOTINGS, WALLS OR OTHER PHYSICAL ELEMENTS ARE TO ENCRDACH THE TITLE BOUNDARY.

BUILDER / CONTRACTOR TO TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.

BUILDER / CONTRACTOR TO LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY EXCAVATIONWORKS. IF AN EXISTING PLUMBING SERVICE IS TO BE ABANDONED THE CONTRACTOR MUST CUT AND SEAL / DISCONNECT AND MAKE SAFE.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED CONSULTANTS DRAWINGS. ALL DRAWINGS TO BE CO-ORDINATED WITH CONSULTANTS DOCUMENTATION PRIOR TO COMMENCEMENT OF WORKS.

LICENSED TRADESPERSONS:

ALL SERVICES TO BE INSTALLED BY LICENSED TRADESPERSONS IN ACCORDANCE WITH THE LOCAL AUTHORITY AND WITH CURRENT MANUFACTURERS SPECIFICATIONS.

SERVICES:

ALL SERVICES SHALL BE CONCEALED. WHERE SERVICES ARE EXPOSED THEY MUST BE CONFIRMED BY THE DESIGNER ON SITE PRIOR TO INSTALLATION UNLESS NOTED OTHERWISE.

EROSION CONTROL:

ALL BUILDING WORKS TO COMPLY WITH LOCAL AUTHORITIES EROSION AND SEDIMENT CONTROL STANDARDS.

SITE SURFACE:

EXCAVATE OVER THE SITE TO GIVE CORRECT LEVELS AND PROFILES AS THE BASIS FOR CONSTRUCTION, PAVING, FILLING, LANDSCAPING AND THE LIKE. MAKE ALLOWANCES FOR COMPACTION AND SETTLEMENT. EXTERNAL GROUND LEVELS ADJACENT TO BUILDINGS SHALL BE IN ACCORDANCE WITH BCA 2022 VOLUME 1 GRADE SITE AWAY FROM WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES. BANKS TO BE BATTERED IN COMPLIANCE WITH BCA 2022 VOLUME 1.

TERMITE PROTECTION:

ALL BUILDING WORK TO BE TERMITE PROTECTED IN ACCORDANCE WITH AS 3660. DURABILITY NOTICE TO BE PLACED IN METERBOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS AND MAINTENANCE.

MATERIALS:

ALL MATERIALS SHALL BE NEW UNLESS SPECIFIED OTHERWISE.

MATERIALS RELATING TO CONSTRUCTION IN CLOSE PROXIMITY OF COASTAL & INDUSTRIAL ENVIRONMENTS TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

STRUCTURAL STEEL:

ALL STEEL TO STRUCTURAL ENGINEERS DESIGN. UNLESS NOTED OTHERWISE, ALL EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANISED. A COLD GAL PAINTED FINISH SHALL BE APPLIED TO ANY FIELD WELDING BE IT EXISTING OR NEW STEELWORK. ALL STEELWORK CAST IN CONCRETE FOOTINGS OR SLABS SHALL HAVE A BITUMEN FINISH APPLIED TO FULL EXTENT OF CAST IN CONCRETE STEEL. CHECK ALL DIMENSIONS ON SITE PRIOR TO FABRICATION OF ANY STEELWORK.

SLABS & FOOTINGS:

ALL SLABS & FOOTINGS TO STRUCTURAL ENGINEERS DETAILS. MINIMUM 200mm POLYETHYLENE UNDERLAY ON COMPACTED SAND BED. LAP AND TAPE ALL JOINTS AND PENETRATIONS.

RETAINING WALLS:

ALL RETAINING WALLS TO STRUCTURAL ENGINEERS DETAILS. PROVIDE RUBBLE BACKFILL AND AGG DRAINAGE TO ALL RETAINING WALLS. BUILDER TO PROVIDE TANKING WHERE REQUIRED. RETAINING WALLS THAT EXCEED 1m IN HEIGHT WILL REQUIRE ADDITIONAL APPROVAL PRIOR TO THE RELEASE OF A FINAL CERTIFICATION FORM ZL

BRICKWORK:

BRICK VENEER WALLS SHALL BE CONSTRUCTED WITH LIGHT DUTY WALL TIES. W33 AT 450mm CENTRES HORIZONTALLY AND 514mm CENTRES VERTICALLY. W41 AT 450mm CENTRES HORIZONTALLY AND 429mm CENTRES VERTICALLY. PROVIDE ARTICULATION JOINTS TO COMPLY WITH CEMENT AND CONCRETE ASSOCIATION CONSTRUCTION

MASONRY:

BLOCK VENEER WALLS SHALL BE CONSTRUCTED WITH LIGHT DUTY WALL TIES. W33 AT 450mm CENTRES HORIZONTALLY AND 514mm CENTRES VERTICALLY. W41 AT 450mm CENTRES HORIZONTALLY AND 429mm CENTRES VERTICALLY.

BLOCK WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERS SPECIFICATION AND MUST PROVIDE ARTICULATION JOINTS TO COMPLY WITH CEMENT AND CONCRETE ASSOCIATION CONSTRUCTION

WALL CLADDING:

1) EXTERNAL WALL CLADDING MUST COMPLY WITH ONE OR A COMBINATION OF THE FOLLOWING:

- MASONRY, INCLUDING MASONRY VENEER, UNREINFORCED AND REINFORCED MASONRY: AS 3700.
 - AUTOCURED AERATED CONCRETE: AS 5746.3.
 - METAL WALL CLADDING: AS 1562.1
- 2) THE FOLLOWING BUILDINGS NEED NOT COMPLY WITH (1):
- A CLASS 7 OR 8 BUILDING WHERE IN THE PARTICULAR CASE THERE IS NO NECESSITY FOR COMPLIANCE.
A GARAGE, TOOL SHED, SANITARY COMPARTMENT, OR THE LIKE, FORMING PART OF A BUILDING USED FOR OTHER PURPOSES, EXCEPT WHERE THE CONSTRUCTION OF THE GARAGE, TOOL SHED, SANITARY COMPARTMENT OR THE LIKE CONTRIBUTES TO THE WEATHERPROOFING OF ANOTHER PART OF THE BUILDING THAT IS REQUIRED TO BE WEATHERPROOFED. AN OPEN SPECTATOR STAND OR OPEN DECK CARPARK.

GLAZED ASSEMBLIES:

1) GLAZED ASSEMBLIES IN AN EXTERNAL WALL, MUST COMPLY WITH AS 2047

SARKING:

SARKING-TYPE MATERIAL USED FOR WEATHERPROOFING OF ROOFS AND WALLS MUST COMPLY WITH AS 4200.1 AND AS 4200.2.

CONSTRUCTION JOINTS:

CONSTRUCTION JOINTS, SPACES AND THE LIKE IN AND BETWEEN BUILDING ELEMENTS REQUIRED TO BE FIRE-RESISTING WITH RESPECT

TO INTEGRITY AND INSULATION MUST BE PROTECTED IN A MANNER:

- IDENTICAL WITH A PROTOTYPE TESTED IN ACCORDANCE WITH AS 4072.1 AND AS 1530.4 TO ACHIEVE THE REQUIRED FRL; OR
- THAT DIFFERS FROM A PROTOTYPE IN ACCORDANCE WITH SECTION 4 OF AS 4072.1 AND ACHIEVES THE REQUIRED FRL.

WALL FRAMING

GROUND FLOOR	EXTERNAL AND LOAD BEARING	INTERNAL
BOTTOM PLATES	90 X 35 MGP 12	70 X 35 MGP 10
TOP PLATES	90 X 70 MGP 12 OR 2/ 90 X 35 MGP 12	70 X 35 MGP 10
STUDS	90 X 35 MGP 12 AT 450 C/C	70 X 35 MGP 10 AT 450 C/C

FOR ROOF SPAN UP TO 5,100mm

FIRST FLOOR

BOTTOM PLATES	EXTERNAL AND LOAD BEARING	INTERNAL
TOP PLATES	90 X 35 MGP 12	70 X 35 MGP 10
STUDS	90 X 70 MGP 12 OR 2/ 90 X 35 MGP 12	70 X 35 MGP 10

FOR ROOF SPAN UP TO 5,100mm

NOGGINGS AT 1250mm C/C MAXIMUM. NOGGINNS IN WET AREAS ARE TO LINE UP HORIZONTALLY THROUGHOUT.

FOR CAVITY SLIDING DOORS PROVIDE 90mm STUD WALL FRAMES.

LINTEL SIZES TO STRUCTURAL ENGINEERS DETAILS.

ROOF FRAMING:

ROOF PITCH AS INDICATED ON PLANS. ROOF TRUSSES TO BE 'GANGNAIL' TYPE TRUSSES SUPPLIED AND FIXED TO ENGINEERS DETAILS AT 600mm C/C UNLESS NOTED OTHERWISE. CEILING BINDERS TO BE EVENLY SPACED THROUGHOUT THE CEILING SPACE. ROOF BATTENS TO BE TO MANUFACTURERS SPECIFICATIONS FOR CLADDING TYPE.

ROOF COVERINGS:

A ROOF MUST BE COVERED WITH:
a) ROOF TILES COMPLYING WITH AS 2048, FIXED IN ACCORDANCE WITH AS 2050; OR
b) METAL SHEET ROOFING COMPLYING WITH AS 1562.1; OR
c) PLASTIC SHEET ROOFING DESIGNED AND INSTALLED IN ACCORDANCE WITH AS 1562.3; OR
d) TERRACOTTA FIBRE-CEMENT AND TIMBER SLATES AND SHINGLES DESIGNED AND INSTALLED IN ACCORDANCE WITH AS 4587, EXCEPT IN CYCLONIC AREAS; OR
e) AN EXTERNAL WATERPROOFING MEMBRANE COMPLYING WITH FIBS.

FLOOR FRAMING:

FLOOR FRAMING TO STRUCTURAL ENGINEERS DETAILS.

WALL LININGS:

EXTERIOR WALL LININGS AS INDICATED ON PLANS. INTERIOR WALL LININGS TO BE FLUSH PLASTERBOARD LINING UNLESS NOTED OTHERWISE. 6mm VILLABOARD TO WET AREAS FIXED OFF IN ACCORDANCE WITH THE BCA AND MANUFACTURERS SPECIFICATIONS. FEATURE WALLS AS INDICATED ON PLANS.

CEILING LININGS:

CEILING LINING TO BE FLUSH PLASTERBOARD FIXED TO MANUFACTURERS SPECIFICATIONS UNLES NOTED OTHERWISE.

FLOOR LININGS:

FLOOR LININGS AS INDICATED ON PLANS. BUILDER/CONTRACTOR TO CONFIRM ALL REBATES IN TOP OF SLAB TO ENSURE TOP OF FLOOR FINISHES ARE FLUSH UNLES NOTED OTHERWISE. EXPOSED TIMBER FLOORS TO HAVE VAPOUR PERMEABLE FOIL TO UNDERSIDE.

BRACING & TIE-DOWN:

BRACING & TIE-DOWN TO STRUCTURAL ENGINEERS DETAILS.

ROOF DRAINAGE:

DOWNPIPES TO BE LOCATED AS PER THE PLANS. ALLOW TO CONNECT TO IN-GROUND STORMWATER DRAINS WITH 90mm UPVC AT ±100 MINIMUM GRADE. ALLOW FOR L.O.'S AT EACH CHANGE IN DIRECTION AND AT 6000mm CENTRES.

WATERPROOFING:

WATERPROOFING IS TO BE CARRIED OUT BY A SUITABLY QUALIFIED PERSON. ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC S28 & AS 3740. BUILDER TO PROVIDE CERTIFICATE OF INSTALLATION AND COMPLIANCE

APPLIANCES & EQUIPMENT:

BUILDER TO CO-ORDINATE ALL APPLIANCE AND EQUIPMENT LOCATIONS ON SITE WITH JOINER. INSTALLATION AND FINAL CONNECTION BY CONTRACTOR

SANITARY COMPARTMENTS:

SANITARY COMPARTMENT DOORS TO COMPLY WITH NCC F4. DOORS TO SWING OUT FROM PAN. DISTANCE FROM PAN TO DOOR EDGE TO BE 1200mm OR LIFT OFF HINGES TO BE INSTALLED ENSURING DOOR IS READILY REMOVABLE FROM OUTSIDE

FIRE SAFETY:

CONSTRUCTION WITHIN 900 OF A BOUNDARY (NO CLOSER THAT 450 OF A BOUNDARY OR 900 OF ASSOCIATED ENCRDACHMENTS OF ANOTHER BUILDING) TO BE OF NON-COMBUSTIBLE MATERIALS & WALLS WITHIN 900 OF A BOUNDARY TO HAVE A MINIMUM FIRE RESISTANCE LEVEL OF 60/60/60 IN ACCORDANCE WITH NCC C308.

POOL FENCING:

POOL FENCING TO BE IN ACCORDANCE WITH AS 1926 AND LOCAL AUTHORITIES REQUIREMENTS.

STAIRS & BALUSTRADES:

STAIRS & BALUSTRADES TO COMPLY WITH NCC S4C2. STEPS TO BE PROVIDED WHERE FALL FROM DWELLING EXCEEDS 180mm.

SITE DISCHARGE:

STORMWATER AND SANITARY PLUMBING TO BE CONNECTED TO EXISTING COUNCIL SYSTEM IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS.

WATER LINES:

ALL HOT WATER LINES SHALL BE FULLY INSULATED. ALL DOMESTIC HOT WATER TO BASINS, SHOWERS AND BATHS TO HAVE A MAXIMUM TEMPERATURE OF 50°C. ALLOW TO SUPPLY AND INSTALL TEMPERING VALVES WHERE REQUIRED, AS NOMINATED IN THE BCA AND RELEVANT CODES AND STANDARDS.

DISTRIBUTION BOARD:

PROVIDE NEW DISTRIBUTION BOARD AS REQUIRED. ALL ELECTRICAL OUTLETS SHALL BE PROTECTED BY OVER-CURRENT / EARTH LEAKAGE CIRCUIT BREAKERS IN ACCORDANCE WITH AUSTRALIAN STANDARDS.

ELECTRICAL ACCESSORIES:

LIGHT SWITCHES TO BE LOCATED 1200mm ABOVE THE FINISHED FLOOR LEVEL UNLES NOTED OTHERWISE.

ANTENNA:

SUPPLY AND INSTALL A ROOF MOUNTED ANTENNA - COMBINED VHF/UHF. ANTENNA TO BE HIDDEN FROM VIEW TO STREET AND WATERFRONT. LOCATION TO BE CONFIRMED BY ELECTRICAL DESIGNER.

LIGHT & VENTILATION:

ALL LIGHT AND CENITATION TO BE IN ACCORDANCE WITH NCC J6 AND J7 AND RELEVANT AUSTRALIAN STANDARDS.

ARTIFICIAL LIGHT:

PROVIDE ARTIFICIAL LIGHTING IN ACCORDANCE WITH AS 1680 TO ALL ROOMS WITHOUT NATURAL LIGHTING.

SOUND INSULATION:

TO BE IN ACCORDANCE WITH NCC S28.

SUB-FLOOR:

SUB-FLOOR ACCESS AND VENTILATION TO BE IN ACCORDANCE WITH NCC S39.

ENERGY EFFICIENCY:

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH NCC SECTION J, APPROVED ENERGY EFFICIENCY REPORT AND CONSULTANT CERTIFICATES.

INSULATION:

INSULATION TO BE IN ACCORDANCE WITH ENERGY EFFICIENCY & ACOUSTIC REPORTS. INSULATION REQUIREMENTS INDICATED IN REPORTS MUST BE MET AS A MINIMUM. ALL EXTERNAL WALLS & ROOF TO HAVE VAPOUR PERMEABLE SARKING

HYDRAULICS:

HYDRAULIC WORKS TO BE CARRIED OUT IN ACCORDANCE WITH:

- THE PLUMBING AND DRAINAGE ACT 2002
- AS 3500
- LOCAL AUTHORITY
- ANY OTHER RELEVANT JURISDICTION

SANITARY PLUMBING:

SANITARY PLUMBING SHALL BE UPVC CLASS HD WITH SOLVENT WELD JOINTS AND SHALL BE LAID AT A MINIMUM GRADE OF 160 UNLESS NOTED OTHERWISE. CONNECT SANITARY PLUMBING TO COUNCIL SEWER IN ACCORDANCE WITH AUTHORITY REQUIREMENTS. WHERE NO LOCAL AUTHORITY SEWER CONNECTION IS AVAILABLE ALL WASTE WATER TO BE CONNECTED TO AN ON SITE TREATMENT PLANT IN ACCORDANCE WITH ENGINEERS DETAILS.

CONDENSATION MANAGEMENT:

ALL CONDENSATION MANAGEMENT TO BE COMPLIANT WITH AUSTRALIAN STANDARDS AND IN ACCORDANCE WITH ENGINEERING AND MANUFACTURES SPECIFICATION.

FIRE PROOF PENETRATIONS:

PENETRATIONS MADE THROUGH FIRE RELATED ELEMENTS SHALL BE MADE USING FIRE STOP COLLARS TO MAINTAIN THE INTEGRITY OF THE ELEMENT BEING PENETRATED.

ENCASING UNDERGROUND SERVICES:

UNDERGROUND WATER & FIRE SERVICES TO BE ENCASED IN 100mm OF SAND.

WEATHERSTRIPS:

EXTERNAL DOORS TO CONTAIN WEATHER STRIPS (TYPE TO BE CONFIRMED BY DESIGNER PRIOR TO MANUFACTURE).

WINDOWS AND DOORS:

WINDOW & DOOR DIMENSIONS TO BE CONFIRMED ON SITE. DIMENSIONS ARE TO OUTSIDE OF FRAMES UNLESS SHOWN OTHERWISE. WINDOW SUPPLIER TO ADJUST DIMENSIONS TO SUIT STANDARD FRAME SIZES WITH THE DESIGNERS APPROVAL. WINDOW & DOOR JOINER TO CONFIRM FRAME SIZES TO SUIT AS-BUILT WALL DEPTHS ON SITE.

MAKE ALLOWANCES FOR DOOR AND SCREEN TRACKS TO BE RECESSED INTO FLOOR FINISH / SLAB. DEPTH OF RECESS / REBATE TO BE CONFIRMED BY BUILDER / CONTRACTOR.

BUILDER / CONTRACTOR TO INSTALL NECESSARY FLASHINGS TO ALL WINDOWS, DOORS & OPENINGS.
BUILDER / CONTRACTOR TO CONFIRM ALL STRUCTURAL OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.

INSTALL DOOR BOTTOM AND FRAME SEALS ON AND AROUND ALL EXTERNAL OPENINGS TO PREVENT HEAT LOSS.

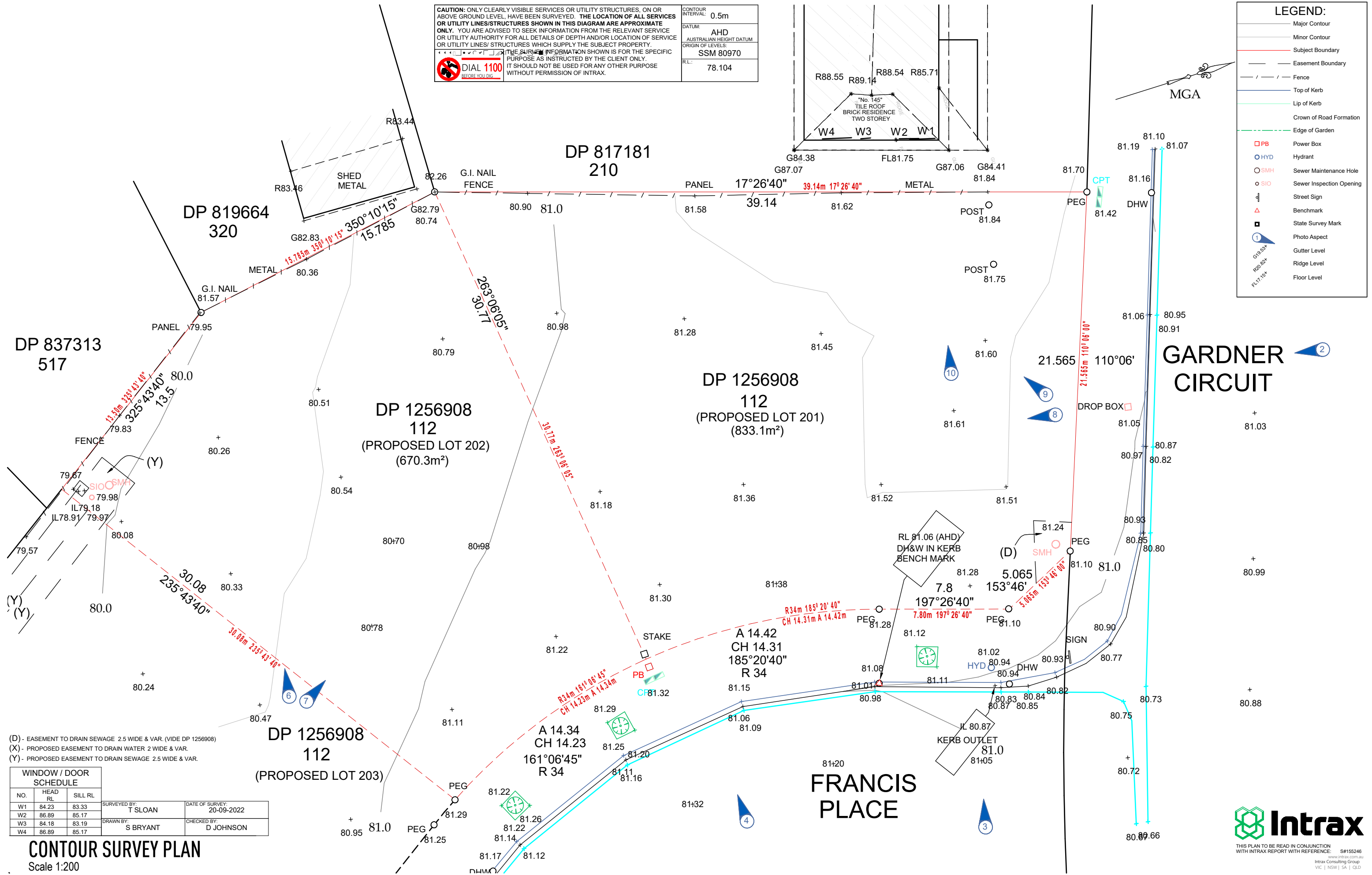
LEGEND

A/R	ANCHOR ROD	MW	MICROWAVE OVEN
AP	ACCESS PANEL	OBS	OBSCURE GLASS
B	BATH	OHC	OVERHEAD CUPBOARD
BE	BEAM TO ENG. DETAIL	P	PANTRY
CH	CEILING HEIGHT	R	ROBE
CD	CLOTHES DRYER	RH	RANGE HOOD
CVS	CENTRAL VACUUM SYSTEM	PW	PLATE WARMER
COL	COLUMN TO ENG. DETAIL	RHS	RECTANGULAR STEEL COLUMN TO ENG. DETAIL
CBD	CUPBOARD	SHS	SQUARE STEEL COLUMN TO ENG. DETAIL
CO	CUPBOARD OVER	SSD	STRUCTURAL STEP DOWN
CB	CONCEALED BEAM	SD	SLIDING DOOR / STEP DOWN
CM	COFFEE MACHINE	SO	STEAM OVEN
DW	DISH WASHER	S	SINK
DP	DOWNPIPE	SH	SHOWER
FSD	FINISHED STEP DOWN	SPA	SPA BATH
ENS	ENSUITE BATHROOM	SP	SPREADER
FR	REFRIGERATOR	T	LAUNDRY TUB
FV	FIXED VENT	UBO	UNDER BENCH OVEN
FW	FLOOR WASTE	V	VANITY
GD	GARBAGE DISPOSAL UNIT	VP	VACUUM POINT (FOR CVS)
HP	HOT PLATE / HOB PLATE	WC	WATER CLOSET / TOILET
HWS	HOT WATER SYSTEM	WM	WASHING MACHINE
L	LINEN	WO	WALL OVEN
		WIR	WALK-IN ROBE

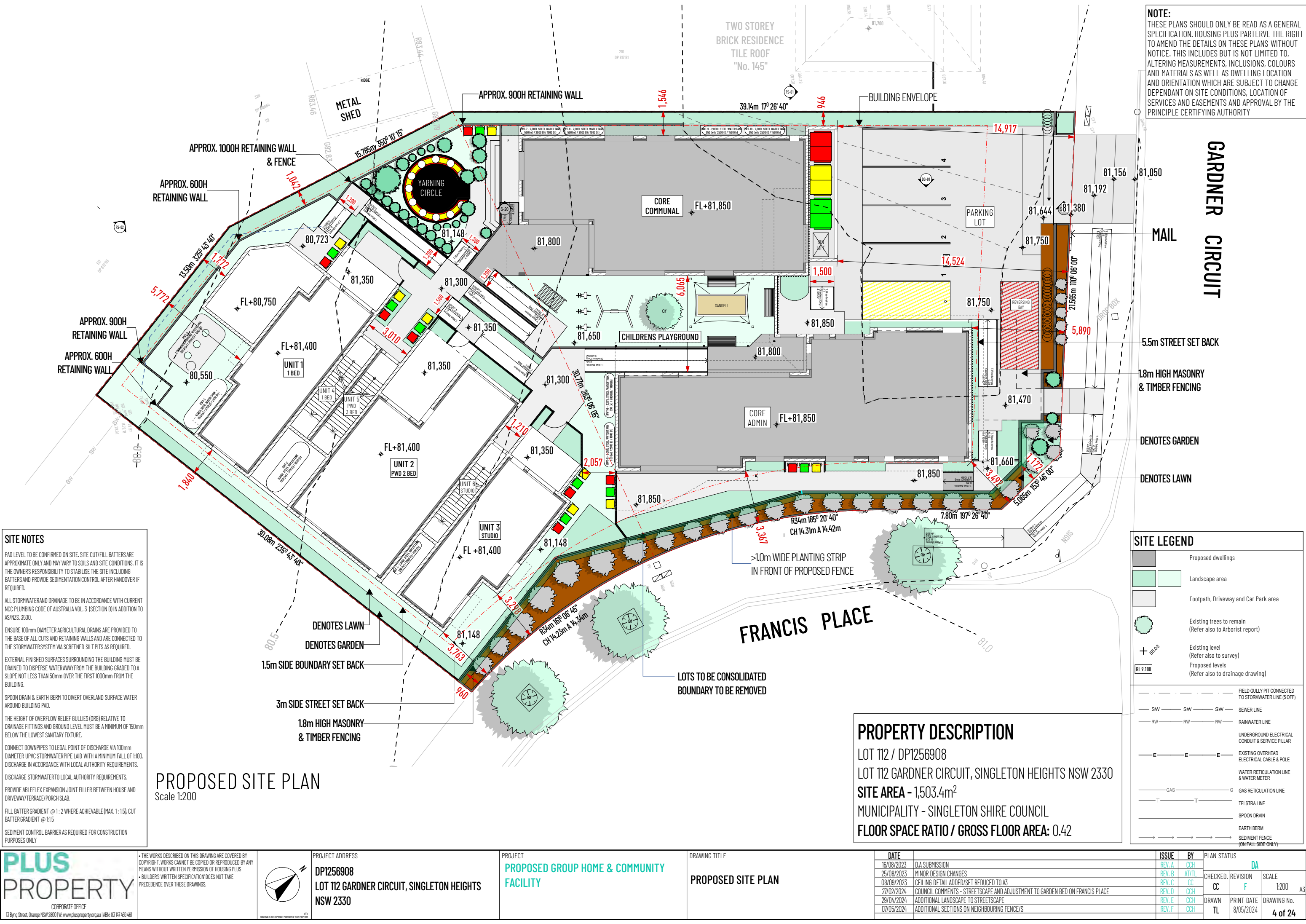
EXTERNAL FINISHES SHEDULE

01	COLORBOND WINDSPRAY ROOFING	02	COLORBOND WOODLAND GREY FASCIA GUTTER DP	03	JAMES HARDIE OBLIQUE 200/300 LEXICON QUARTER	04	AUSTRAL BLOCKS GB ASPECT HONED	05	BLACK POSTS, RAWS WINDOWS & DOOR FRAMES
06	COLORBOND SHALE GREY SHED WALLS & FENCE	07	COLORBOND WINDSPRAY PRIVACY LOUNRES	08	CONCRETE CANTI-LEVER AWNNINGS & PATHS	09	ALUMINIUM POWDER COATED VERTICAL FENCE PAULINGS	10	CONCRETE SLEEPER RETAINING WALL

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					16/08/2023	D.A SUBMISSION	REV. A	CCH	DA		
					25/08/2023	MINOR DESIGN CHANGES	REV. B	AT/TL	CHECKED. CC	REVISION F	SCALE 1:1 A3
					08/09/2023	CEILING DETAIL ADDED/SET REDUCED TO A3	REV. C	CC			
					27/02/2024	COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE	REV. D	CCH			
					29/04/2024	ADDITIONAL LANDSCAPE TO STREETSCAPE	REV. E	CCH	DRAWN TL	PRINT DATE 8/05/2024	DRAWING No. 2 of 24
					07/05/2024	ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S	REV. F	CCH			



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						<div>25/08/2023</div>	<div>REV. B</div>	<div>AT/TL</div>	<div>CHECKED</div> <div>CC</div>	<div>REVISION</div> <div>F</div>	<div>SCALE</div> <div>1:200</div>
						<div>08/09/2023</div>	<div>REV. C</div>	<div>CC</div>	<div>A3</div>		
						<div>27/02/2024</div>	<div>REV. D</div>	<div>CCH</div>			
						<div>29/04/2024</div>	<div>REV. E</div>	<div>CCH</div>			
						<div>07/05/2024</div>	<div>REV. F</div>	<div>CCH</div>			
									<div>DRAWN</div> <div>TL</div>	<div>PRINT DATE</div> <div>8/05/2024</div>	<div>DRAWING No.</div> <div>3 of 24</div>



SITE NOTES

PAD LEVEL TO BE CONFIRMED ON SITE. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNERS RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500.

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

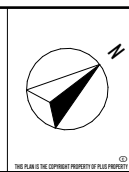
DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABLEFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1:2 WHERE ACHIEVABLE (MAX. 1:15). CUT BATTER GRADIENT @ 1:15.

SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY.

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BUILDERS WRITTEN SPECIFICATION DOES NOT TAKE PRECEDENCE OVER THESE DRAWINGS.



PROJECT ADDRESS
DP1256908
LOT 112 GARDNER CIRCUIT, SINGLETON HEIGHTS
NSW 2330

PROJECT
PROPOSED GROUP HOME & COMMUNITY FACILITY

DRAWING TITLE
PROPOSED SITE PLAN

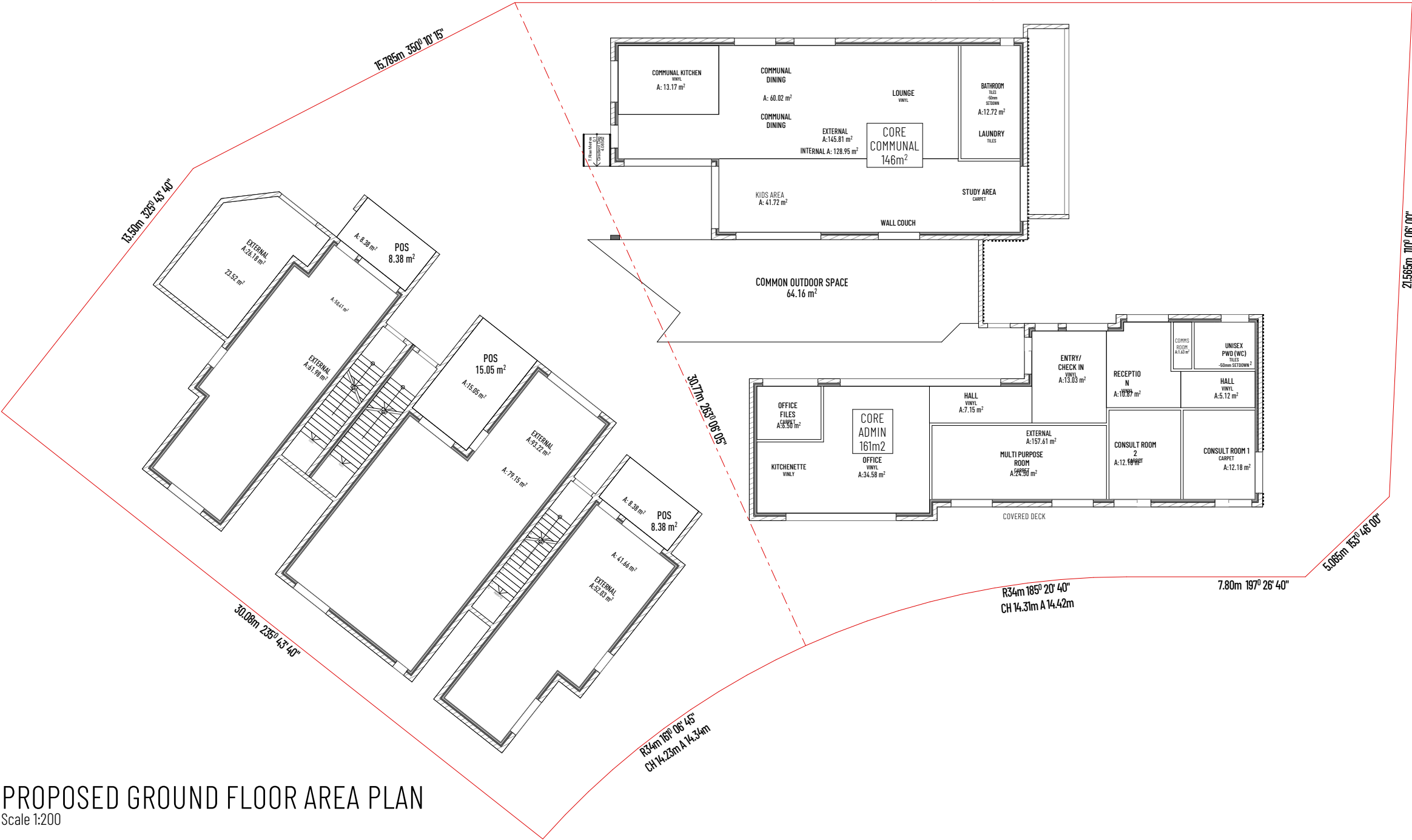
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16/08/2023	D.A. SUBMISSION	CCH	DA
25/08/2023	MINOR DESIGN CHANGES	REV. B	AT/TL
08/09/2023	CEILING DETAIL ADDED/SET REDUCED TO A3	REV. C	CC
27/02/2024	COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE	REV. D	CCH
29/04/2024	ADDITIONAL LANDSCAPE TO STREETSCAPE	REV. E	CCH
07/05/2024	ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S	REV. F	CCH

CHECKED	REVISION	SCALE
CC	F	1:200
TL	8/05/2024	A3
PRINT DATE	DRAWING No.	
8/05/2024	4 of 24	

PROPERTY DESCRIPTION
LOT 112 / DP1256908
LOT 112 GARDNER CIRCUIT, SINGLETON HEIGHTS NSW 2330
SITE AREA - 1,503.4m²
MUNICIPALITY - SINGLETON SHIRE COUNCIL
FLOOR SPACE RATIO / GROSS FLOOR AREA: 0.42

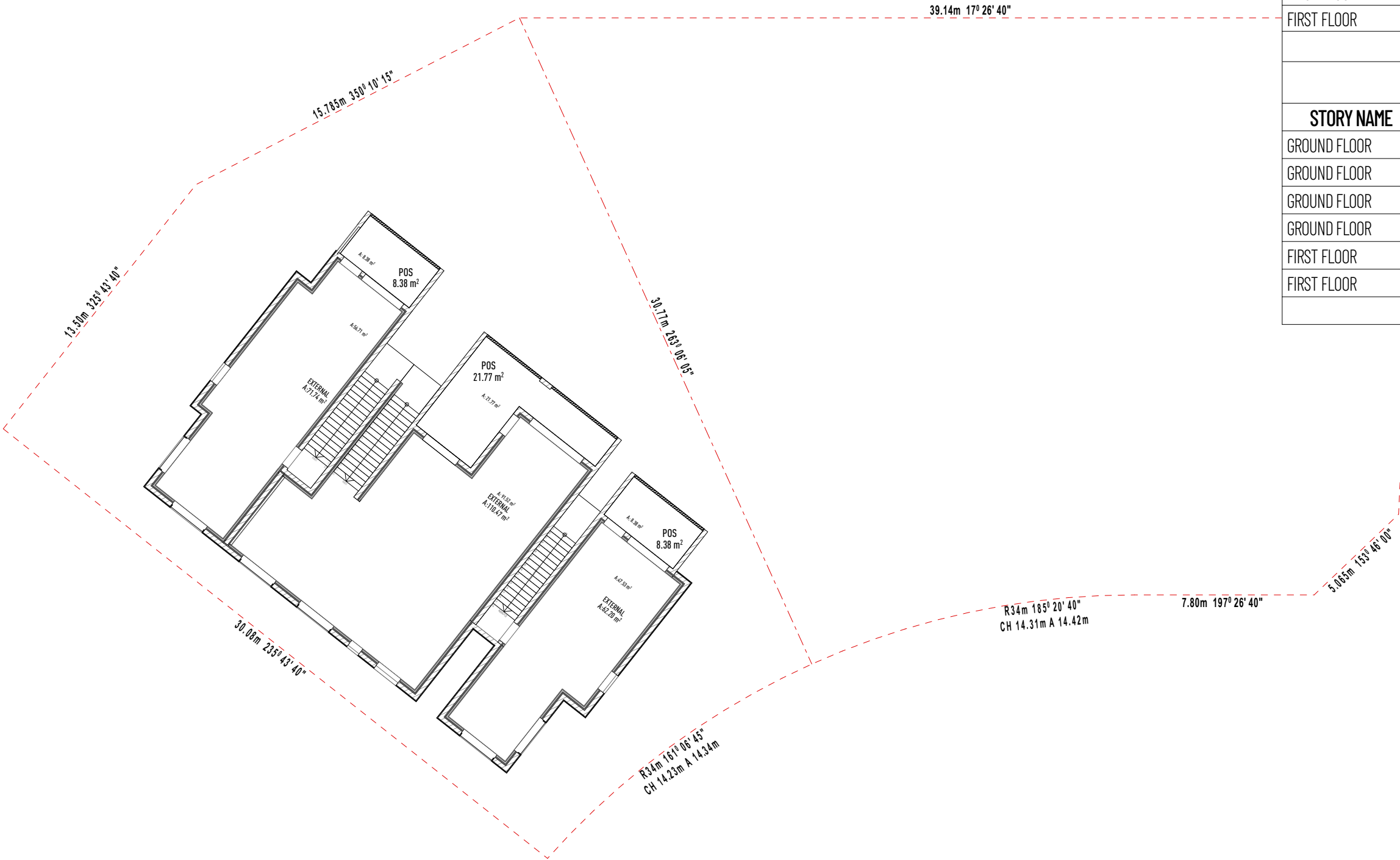
SITE LEGEND	
	Proposed dwellings
	Landscape area
	Footpath, Driveway and Car Park area
	Existing trees to remain (Refer also to Arborist report)
	Existing level (Refer also to survey)
	Proposed levels (Refer also to drainage drawing)
	FIELD GULLY PIT CONNECTED TO STORMWATER LINE (S OFF)
	SEWER LINE
	RAINWATER LINE
	UNDERGROUND ELECTRICAL CONDUIT & SERVICE PILLAR
	EXISTING OVERHEAD ELECTRICAL CABLE & POLE
	WATER RETICULATION LINE & WATER METER
	GAS RETICULATION LINE
	TELSTRA LINE
	SPOON DRAIN
	EARTH BERM
	SEDIMENT FENCE (ON FALL SIDE ONLY)

AREA CALCULATION - CORE BUILDING		
STORY NAME	DESCRIPTION	AREA m2
GROUND FLOOR	COMMUNAL - INTERNAL AREA	128.95
GROUND FLOOR	CORE - INTERNAL AREA	137.93
GROUND FLOOR	CORE ADMIN - COMMS ROOM AREA	1.63
GROUND FLOOR	CORE ADMIN - CONSULT ROOM 1 AREA	12.18
GROUND FLOOR	CORE ADMIN - CONSULT ROOM 2 AREA	12.18
GROUND FLOOR	CORE ADMIN - ENTRY/CHECK IN AREA	13.03
GROUND FLOOR	CORE ADMIN - EXTERNAL AREA	157.61
GROUND FLOOR	CORE ADMIN - HALL AREA	12.27
GROUND FLOOR	CORE ADMIN - MULTI PURPOSE ROOM	24.50
GROUND FLOOR	CORE ADMIN - OFFICE & KITCHEN AREA	34.58
GROUND FLOOR	CORE ADMIN - OFFICE AREA	6.50
GROUND FLOOR	CORE ADMIN - RECEPTION AREA	10.87
GROUND FLOOR	CORE ADMIN - UNISEX PWD AREA	5.40
GROUND FLOOR	CORE COMMUNAL - CHILDREN AREA	41.72
GROUND FLOOR	CORE COMMUNAL - COMMUNAL AREA	60.02
GROUND FLOOR	CORE COMMUNAL - EXTERNAL AREA	145.81
GROUND FLOOR	CORE COMMUNAL - KITCHEN AREA	13.17
GROUND FLOOR	CORE COMMUNAL - WET AREA	12.72
		831.07 m ²
AREA CALCULATION - RESIDENTS		
STORY NAME	DESCRIPTION	AREA m2
GROUND FLOOR	STORAGE EXTERNAL AREA	26.18
GROUND FLOOR	STORAGE INTERNAL AREA	23.52
GROUND FLOOR	UNIT 1 - EXTERNAL AREA	61.98
GROUND FLOOR	UNIT 1 - INTERNAL AREA	50.41
GROUND FLOOR	UNIT 1 - PORCH AREA	8.38
GROUND FLOOR	UNIT 2 - EXTERNAL AREA	93.22
GROUND FLOOR	UNIT 2 - INTERNAL AREA	79.15
GROUND FLOOR	UNIT 2 - PORCH AREA	15.05
GROUND FLOOR	UNIT 3 - EXTERNAL AREA	52.03
GROUND FLOOR	UNIT 3 - INTERNAL AREA	41.66
GROUND FLOOR	UNIT 3 - PORCH AREA	8.38
FIRST FLOOR	UNIT 4 - BALCONY AREA	8.38
FIRST FLOOR	UNIT 4 - EXTERNAL AREA	71.74
FIRST FLOOR	UNIT 4 - INTERNAL AREA	56.71
FIRST FLOOR	UNIT 5 - BALCONY AREA	21.77
FIRST FLOOR	UNIT 5 - EXTERNAL AREA	110.47
FIRST FLOOR	UNIT 5 - INTERNAL AREA	91.52
FIRST FLOOR	UNIT 6 - BALCONY AREA	8.38
FIRST FLOOR	UNIT 6 - EXTERNAL AREA	62.20
FIRST FLOOR	UNIT 6 - INTERNAL AREA	47.53
		938.66 m ²
<div><div><div>PLUS</div><div>PROPERTY</div><div>CORPORATE OFFICE</div><div>13 Blyng Street, Orange NSW 2800 W: www.plusproperty.com.au ABN: 83 747 459 461</div></div><div><div><div></div><div></div><div></div></div><div><div>• THE WORKS DESCRIBED ON THIS DRAWING ARE COVERED BY COPYRIGHT. WORKS CANNOT BE COPIED OR REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION OF HOUSING PLUS</div><div>• BUILDERS WRITTEN SPECIFICATION DOES NOT TAKE PRECEDENCE OVER THESE DRAWINGS.</div></div></div></div>		
<div><div><div></div><div></div><div></div></div><div><div>PROJECT ADDRESS</div><div>DP1256908</div><div>LOT 112 GARDNER CIRCUIT, SINGLETON HEIGHTS</div><div>NSW 2330</div></div></div>		
<div><div><div></div><div></div><div></div></div><div><div>PROJECT</div><div>PROPOSED GROUP HOME & COMMUNITY FACILITY</div></div></div>		
<div><div><div></div><div></div><div></div></div><div><div>DRAWING TITLE</div><div>PROPOSED GROUND AREAS</div></div></div>		
<div><div><div></div><div></div><div></div></div><div><div>DATE</div><div>16/08/2023</div><div>25/08/2023</div><div>08/09/2023</div><div>27/02/2024</div><div>29/04/2024</div><div>07/05/2024</div></div></div>		
<div><div><div></div><div></div><div></div></div><div><div>D.A SUBMISSION</div><div>MINOR DESIGN CHANGES</div><div>CEILING DETAIL ADDED/SET REDUCED TO A3</div><div>COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE</div><div>ADDITIONAL LANDSCAPE TO STREETSCAPE</div><div>ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S</div></div></div>		
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<div><div><div></div><div></div><div></div></div><div><div>BY</div><div>CCH</div><div>A7/TL</div><div>CC</div><div>CCH</div><div>CCH</div><div>CCH</div></div></div>		
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<div><div><div></div><div></div><div></div></div><div><div>PRINT DATE</div><div>8/05/2024</div></div></div>		
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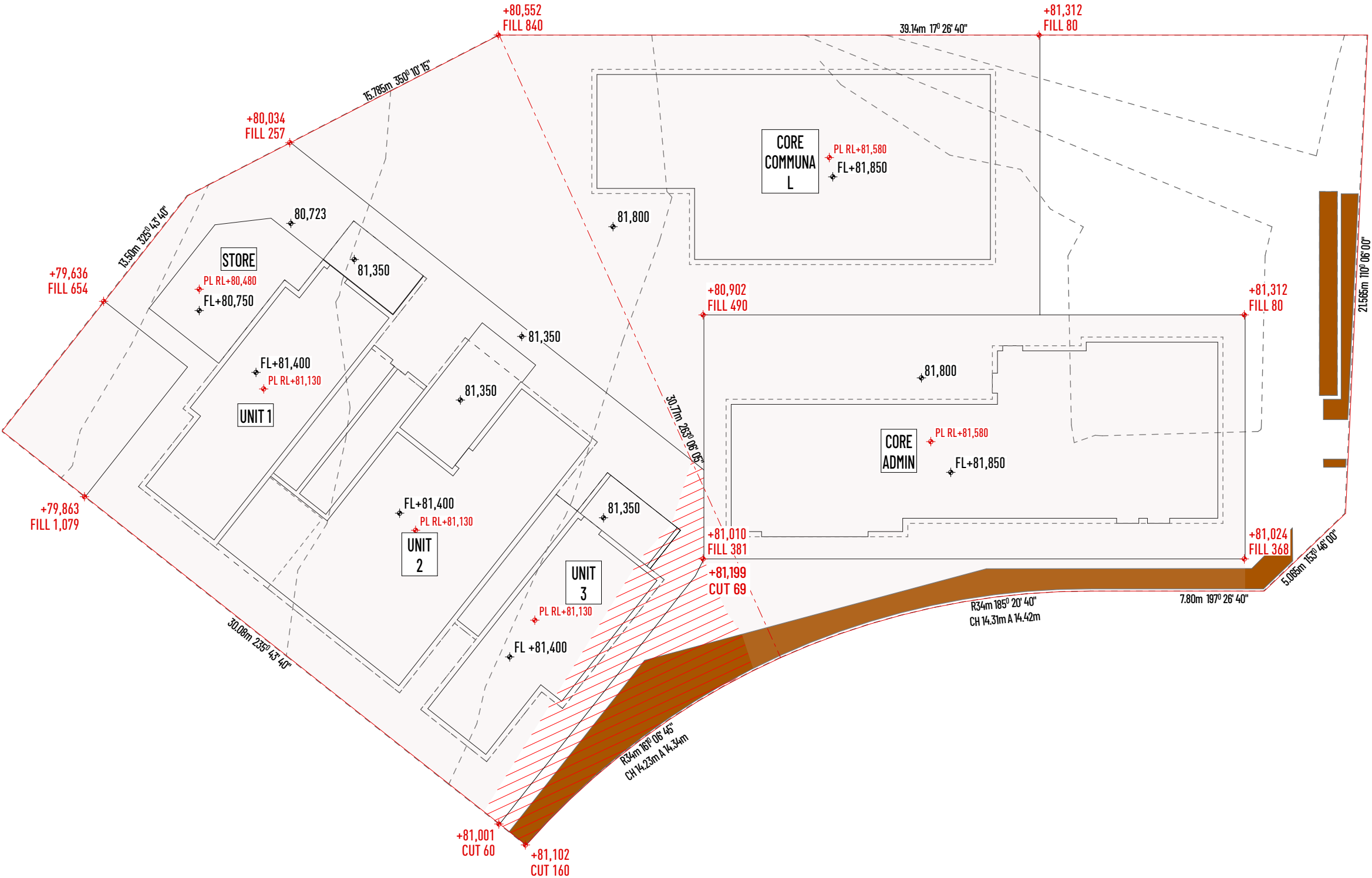
PROPOSED GROUND FLOOR AREA PLAN
Scale 1:200

AREA CALCULATION - GFA		
STORY NAME	DESCRIPTION	AREA m2
GROUND FLOOR	COMMUNAL - INTERNAL AREA	128.95
GROUND FLOOR	CORE - INTERNAL AREA	137.93
GROUND FLOOR	UNIT 1 - INTERNAL AREA	50.41
GROUND FLOOR	UNIT 2 - INTERNAL AREA	79.15
GROUND FLOOR	UNIT 3 - INTERNAL AREA	41.66
FIRST FLOOR	UNIT 4 - INTERNAL AREA	56.71
FIRST FLOOR	UNIT 5 - INTERNAL AREA	91.52
FIRST FLOOR	UNIT 6 - INTERNAL AREA	47.53
		633.86 m ²
AREA CALCULATION - POS		
STORY NAME	DESCRIPTION	AREA m2
GROUND FLOOR	COMMON OUTDOOR SPACE	64.16
GROUND FLOOR	UNIT 1 - POS	8.38
GROUND FLOOR	UNIT 2 - POS	15.05
GROUND FLOOR	UNIT 3 - POS	8.38
FIRST FLOOR	UNIT 4 - POS	30.15
FIRST FLOOR	UNIT 6 - POS	8.38
		134.50 m ²



PROPOSED FIRST FLOOR AREA PLAN
Scale 1:200

PROPERTY DESCRIPTION	
LOT 112 / DP1256908 LOT 112 GARDNER CIRCUIT, SINGLETON HEIGHTS NSW 2330 SITE AREA - 1,503.4m ² MUNICIPALITY - SINGLETON SHIRE COUNCIL	
EARTHWORK	
CORE COMMUNAL	
PAD LEVEL:	81,580
FLOOR LEVEL:	81,900
CORE ADMIN	
PAD LEVEL:	81,580
FLOOR LEVEL:	81,900
UNIT 1, 2 AND 3	
PAD LEVEL:	81,130
FLOOR LEVEL:	81,450
STORAGE	
PAD LEVEL:	80,480
FLOOR LEVEL:	80,800
EXCAVATE SITE APPROX. 160mm TO FORM JOB DATUM. (DATUM POINT 320mm BELOW FINISHED FLOOR LEVEL) EXTENT OF EXCAVATION AND BATTER TO SUIT EXISTING LAND FALL TO BE DETERMINED ON SITE. BUILDING PLATFORM HEIGHT SHOWN IS APPROX. ONLY & MAY VARY ON SITE DUE TO SITE CONDITIONS. SUCH VARIATION, WHILE COMPLYING WITH COUNCIL/SEPP REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER	
ALL SITE WORKS INDICATED ARE ILLUSTRATIVE ONLY.	
RETAINING WALL NOTE	
- ANY RETAINING WALLS REQUIRED TO BE COMPLETED TO MANUFACTURERS SPECIFICATIONS AND DETAILS - ALL RETAINING WALLS OUTSIDE OF THE BUILDING FOOTPRINT LINE WILL BE COMPLETED BY OWNER AND ANY APPROVALS WILL BE AS PER DA CONDITION 14	
LEGEND	
CUT	
FILL	
PAD LEVEL	PL
FLOOR LEVEL	FL
REDUCED LEVEL	RL



PROPOSED EARTHWORK PLAN

Scale 1:200

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						16/08/2023		D.A SUBMISSION	REV. A	CCH	DA		
						25/08/2023		MINOR DESIGN CHANGES	REV. B	AT/TL	CHECKED.	REVISION	SCALE
						08/09/2023		CEILING DETAIL ADDED/SET REDUCED TO A3	REV. C	CC	CC	F	1:200
						27/02/2024		COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE	REV. D	CCH	DRAWN	PRINT DATE	DRAWING No.
						29/04/2024		ADDITIONAL LANDSCAPE TO STREETSCAPE	REV. E	CCH			
						07/05/2024		ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S	REV. F	CCH	TL	8/05/2024	7 of 24

BOUNDARY

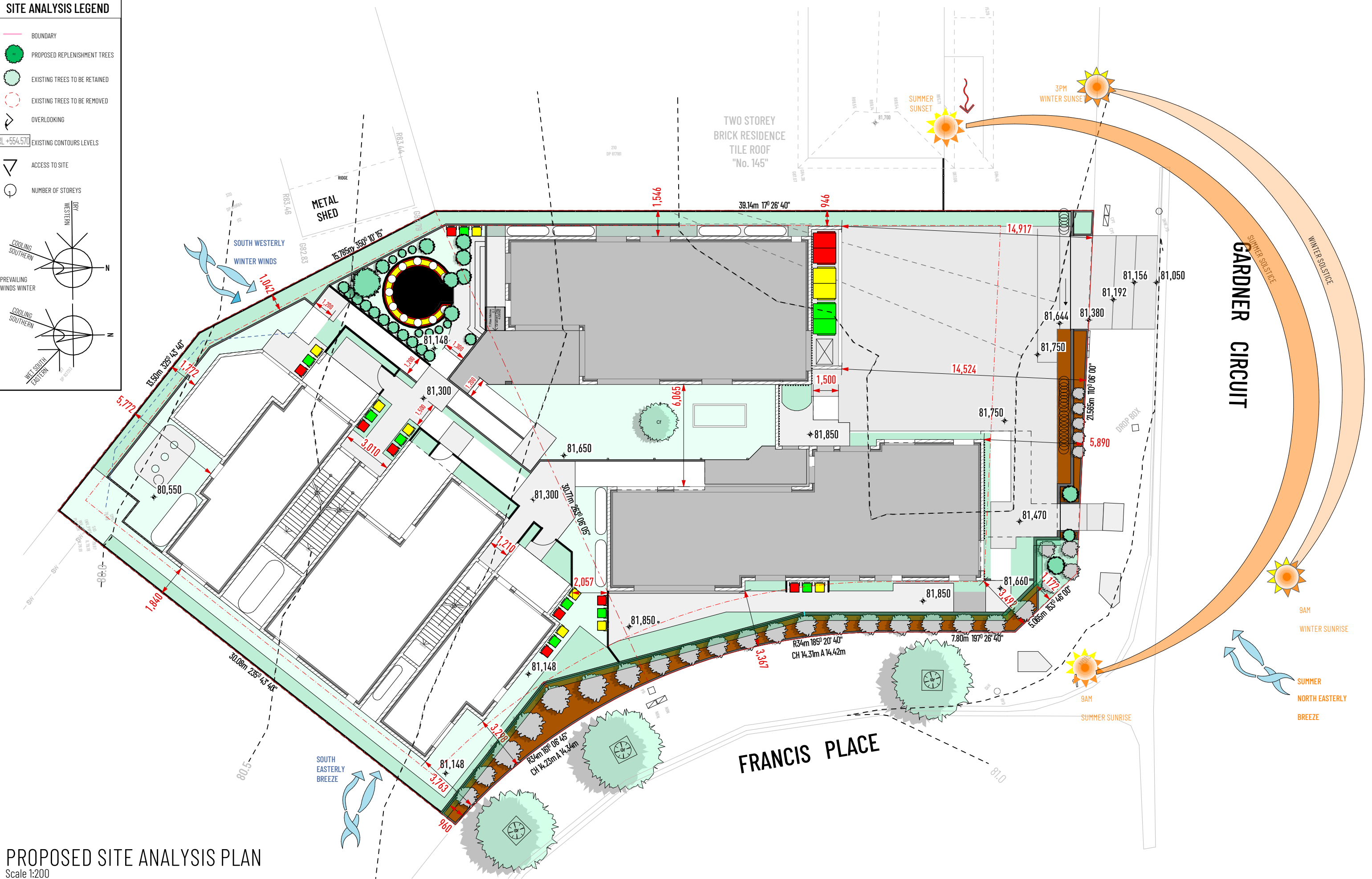
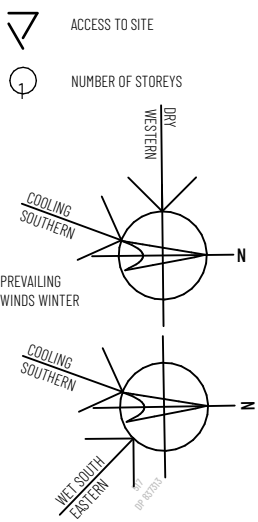
PROPOSED REPLISHMENT TREES

EXISTING TREES TO BE RETAINED

EXISTING TREES TO BE REMOVED

OVERLOOKING

EXISTING CONTOURS LEVELS



Scale 1:200

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PROJECT ADDRESS

DP1256908
LOT 112 GARDNER CIRCUIT, SINGLETON HEIGHTS
NSW 2330

PROJECT

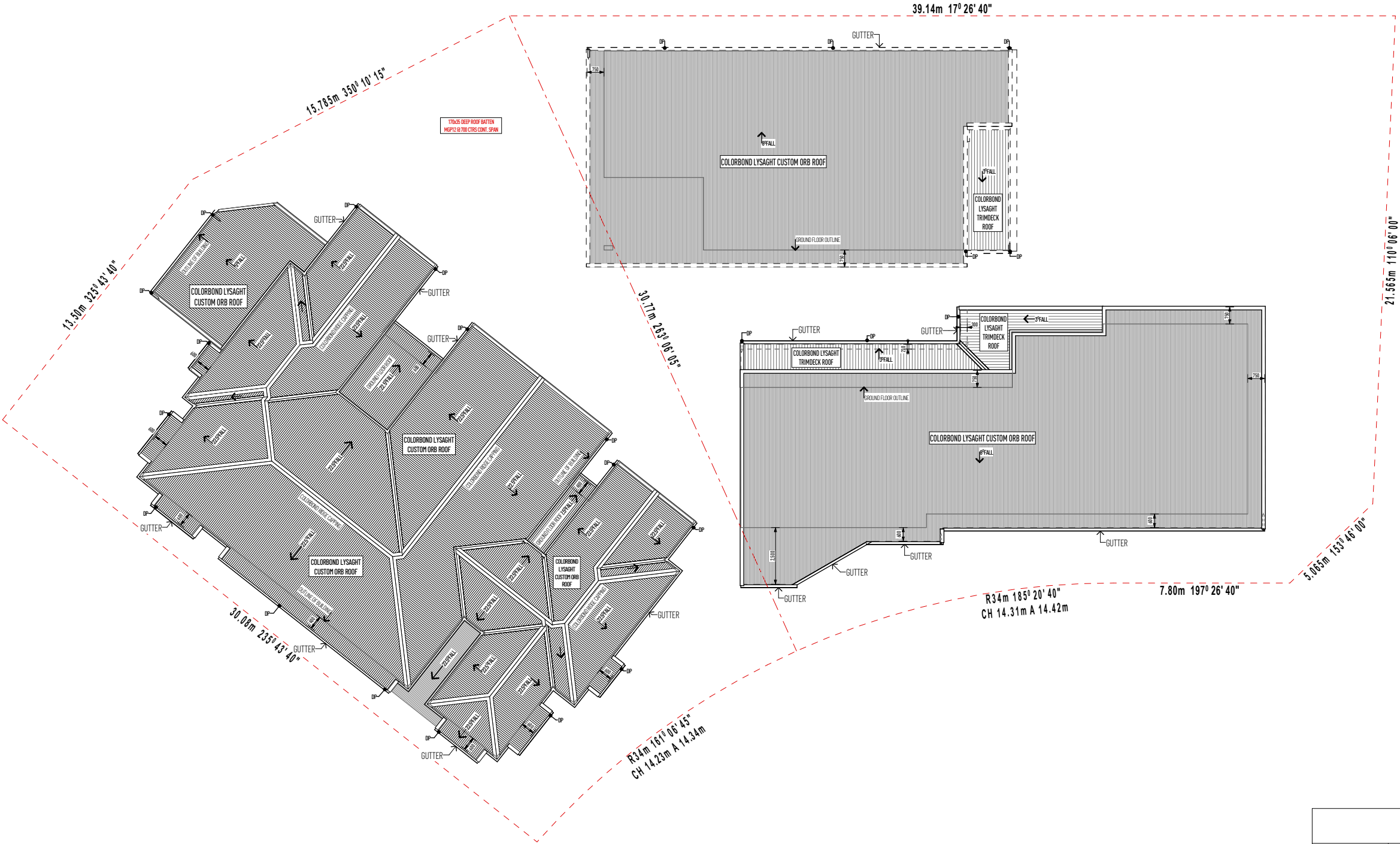
PROPOSED GROUP HOME & COMMUNITY FACILITY

DRAWING TITLE

PROPOSED SITE ANALYSIS PLAN

DATE	ISSUE	BY	PLAN STATUS
16/08/2023	D.A SUBMISSION	REV. A CCH	DA
25/08/2023	MINOR DESIGN CHANGES	REV. B AT/TL	CHECKED. REVISION SCALE
08/09/2023	CEILING DETAIL ADDED/SET REDUCED TO A3	REV. C CC	CC F 1:200
27/02/2024	COUNCIL COMMENTS - STREETScape AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE	REV. D CCH	A
29/04/2024	ADDITIONAL LANDSCAPE TO STREETScape	REV. E CCH	DRAWN. PRINT DATE DRAWING No.
07/05/2024	ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S	REV. F CCH	TL 8/05/2024 8 of 24

NOTE
GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURER'S DETAILS AND TO COMPLY WITH CURRENT NCC.
ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR ENGINEER'S WIND RATING CONDITIONS STEEL ROOFING TO COMPLY WITH AS1562.1
PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.



ROOF AREA		
PITCH	AREA	SURFACE AREA
3.00°	31.16	31.20
5.00°	40.58	40.73
8.00°	367.13	370.73
10.00°	41.87	42.52
22.50°	536.29	580.44
	1,017.03 m ²	1,065.62 m ²

DA		
CHECKED	REVISION	SCALE
CC	F	1:200 A3
DRAWN	PRINT DATE	DRAWING No.
TL	8/05/2024	12 of 24

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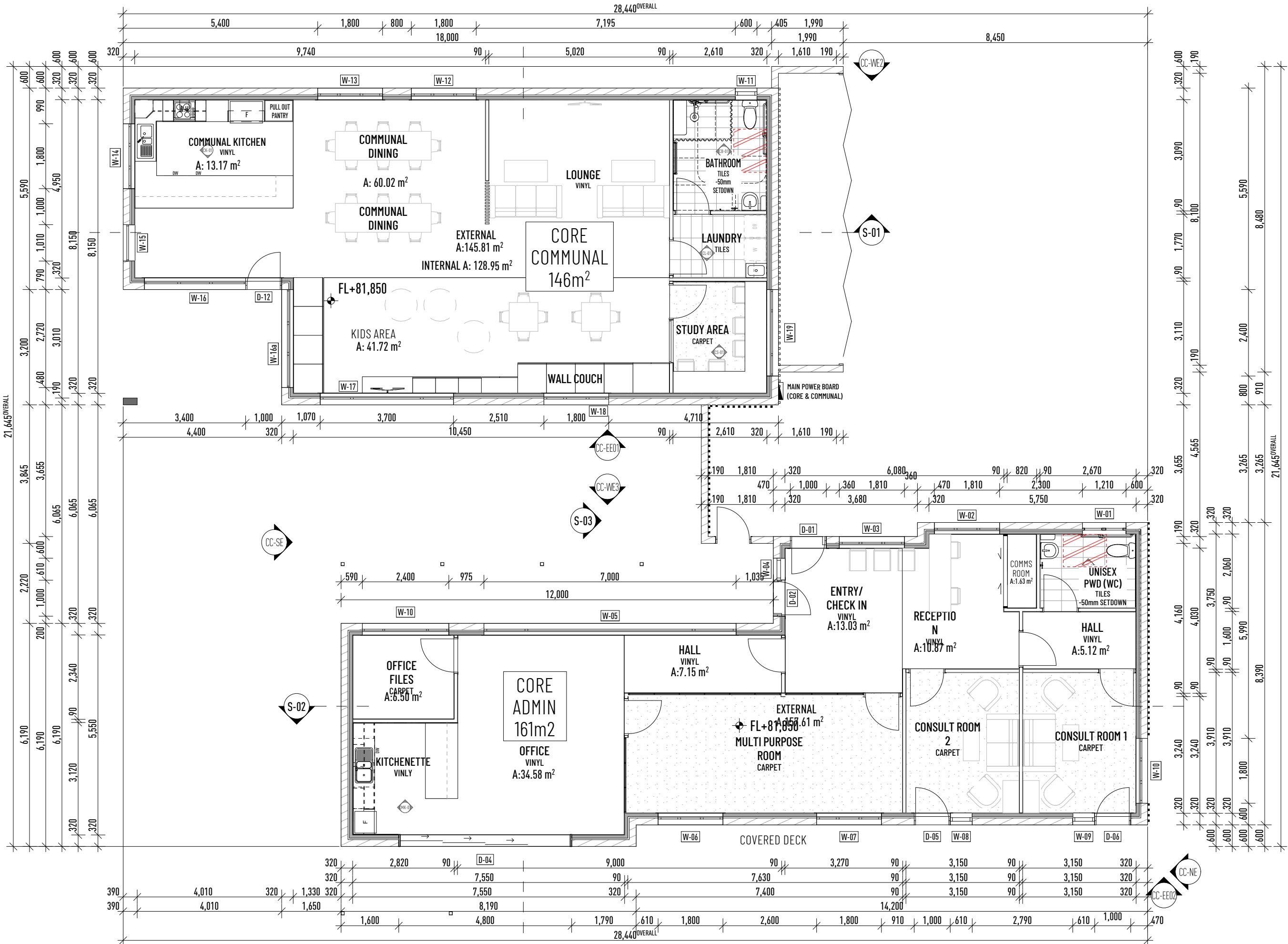
PROJECT ADDRESS
DP1256908
LOT 112 GARDNER CIRCUIT, SINGLETON HEIGHTS
NSW 2330

PROJECT
PROPOSED GROUP HOME & COMMUNITY FACILITY

DRAWING TITLE
PROPOSED ROOF PLAN

DATE	
16/08/2023	D.A SUBMISSION
25/08/2023	MINOR DESIGN CHANGES
08/09/2023	CEILING DETAIL ADDED/SET REDUCED TO A3
27/02/2024	COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE
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REV. A	CCH
REV. B	AT/TL
REV. C	CC
REV. D	CCH
REV. E	CCH
REV. F	CCH

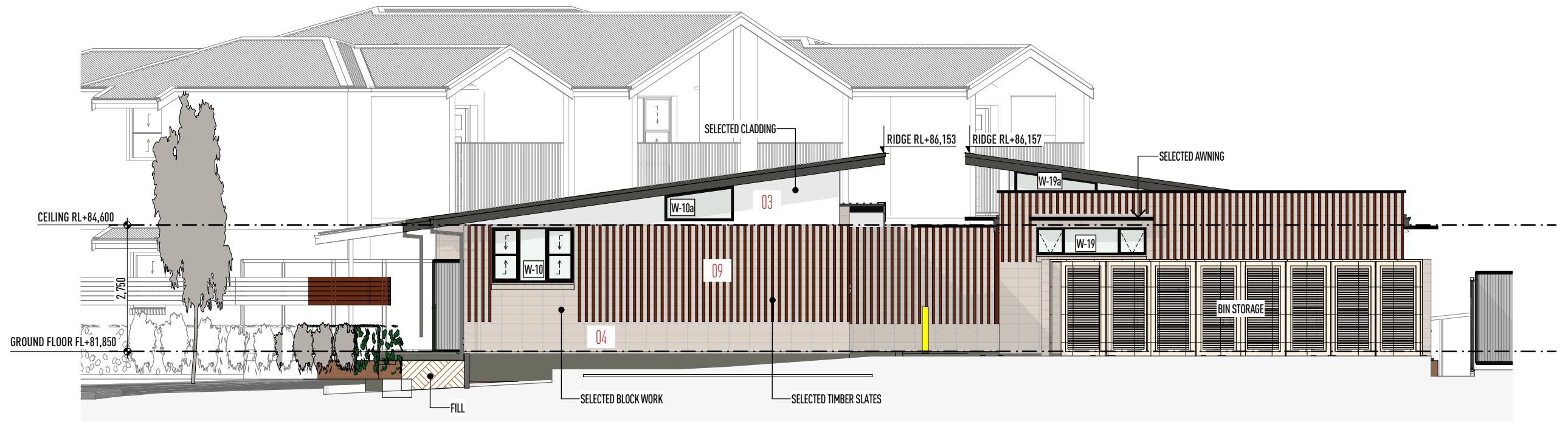


NOTE:
DUCTED A/C TO CORE ADMIN &
COMMUNAL SPACE

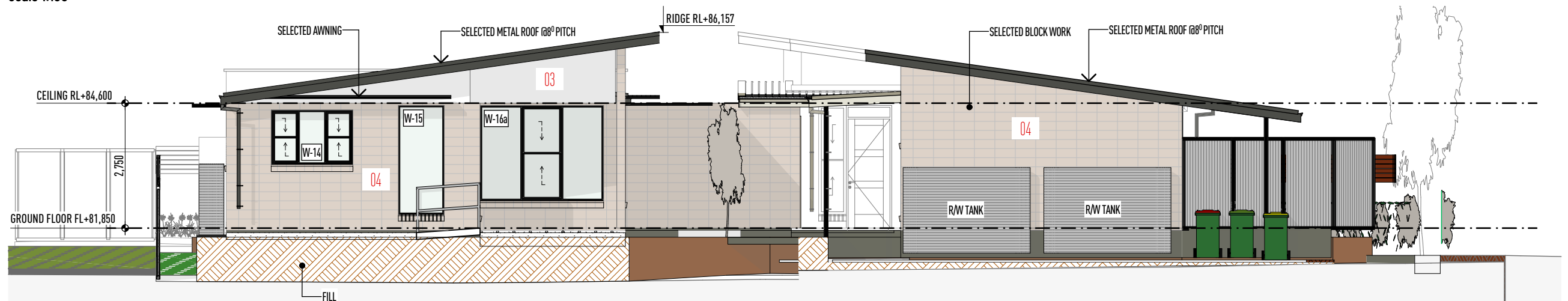


DATE	ISSUE	BY
16/08/2023	D.A SUBMISSION	CCH
25/08/2023	MINOR DESIGN CHANGES	AT/TL
08/09/2023	CEILING DETAIL ADDED/SET REDUCED TO A3	CC
27/02/2024	COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE	CCH
29/04/2024	ADDITIONAL LANDSCAPE TO STREETSCAPE	CCH
07/05/2024	ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S	CCH

PLAN STATUS	CHECKED	REVISION	SCALE
DA	CC	F	1:100
DRAWN	PRINT DATE	DRAWING No.	
TL	8/05/2024	13 of 24	A3

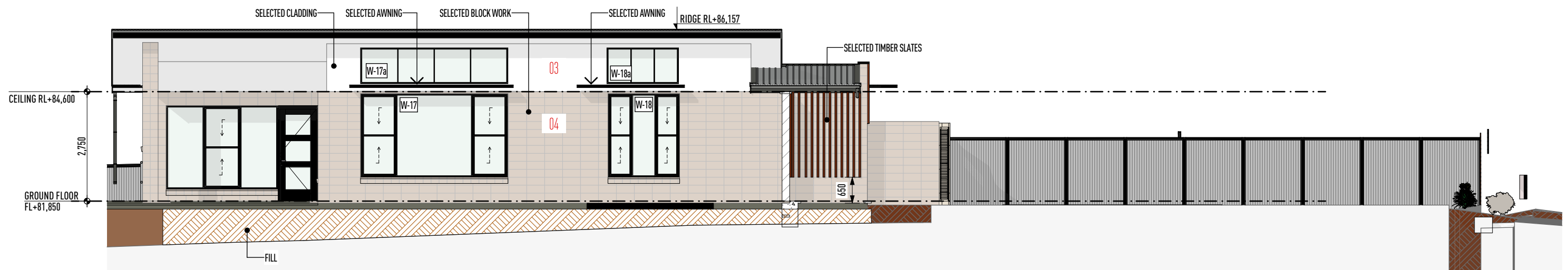


CC-NE CORE & COMMUNAL NORTHERN ELEVATION
Scale 1:100



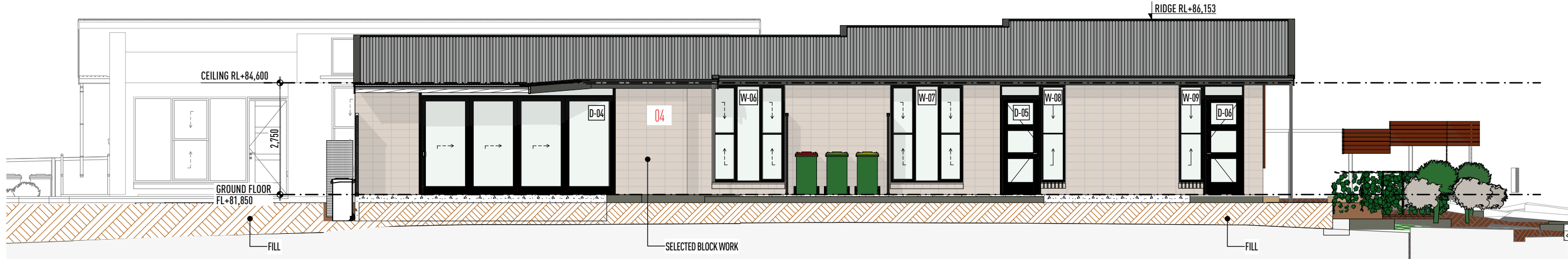
CC-SE CORE & COMMUNAL SOUTHERN ELEVATION
Scale 1:100

NOTE:
DUCTED A/C TO CORE ADMIN &
COMMUNAL SPACE

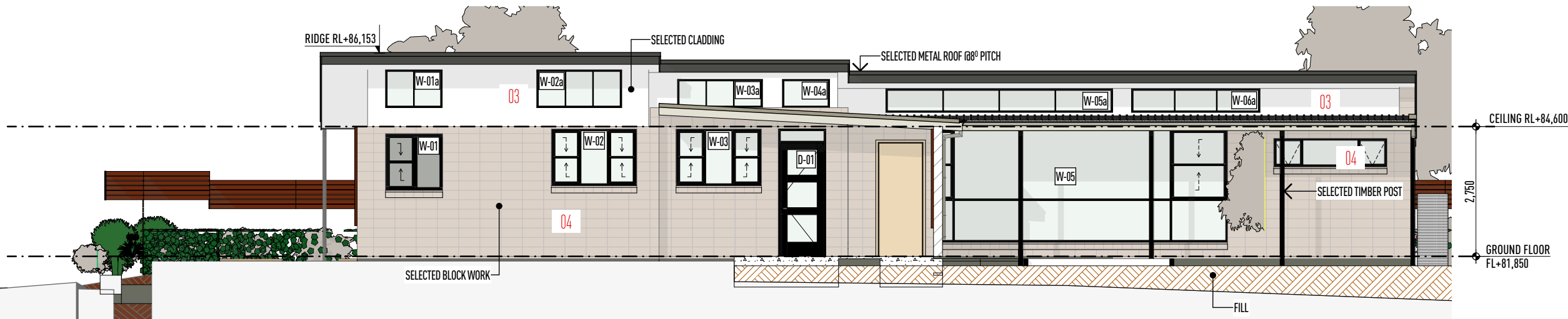


CC-EE01 COMMUNAL EASTERN ELEVATION
Scale 1:100

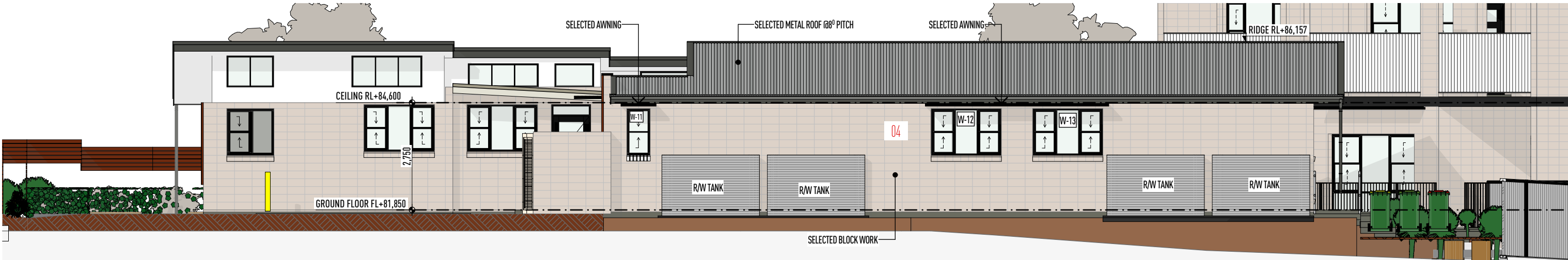
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					<div>25/08/2023</div>	<div>MINOR DESIGN CHANGES</div>	<div>REV. B</div>	<div>AT/TL</div>				
					<div>08/09/2023</div>	<div>CEILING DETAIL ADDED/SET REDUCED TO A3</div>	<div>REV. C</div>	<div>CC</div>	<div>CHECKED</div>	<div>REVISION</div>	<div>SCALE</div>	
					<div>27/02/2024</div>	<div>COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE</div>	<div>REV. D</div>	<div>CCH</div>	<div>CC</div>	<div>F</div>	<div>1:100</div>	<div>A3</div>
					<div>29/04/2024</div>	<div>ADDITIONAL LANDSCAPE TO STREETSCAPE</div>	<div>REV. E</div>	<div>CCH</div>	<div>DRAWN</div>	<div>PRINT DATE</div>	<div>DRAWING No.</div>	
					<div>07/05/2024</div>	<div>ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S</div>	<div>REV. F</div>	<div>CCH</div>	<div>TL</div>	<div>8/05/2024</div>	<div>14 of 24</div>	



CC-EE02 CORE EASTERN ELEVATION
Scale 1:100

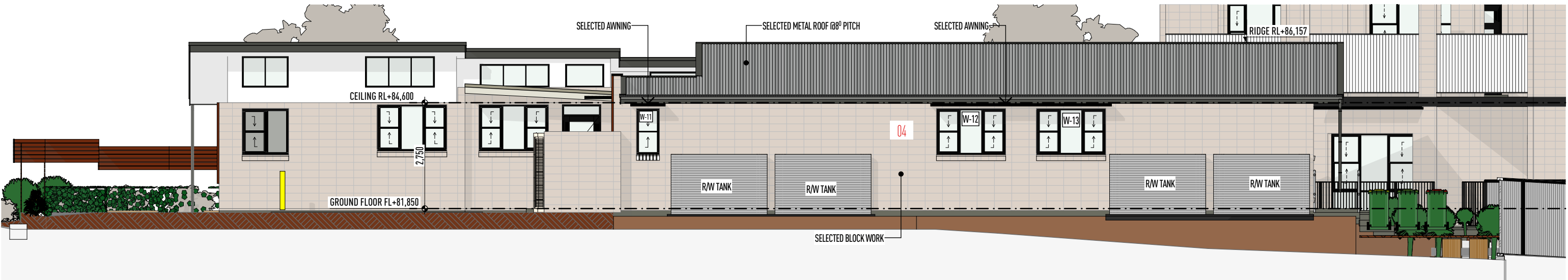


CC-WE3 CORE WESTERN ELEVATION
Scale 1:100

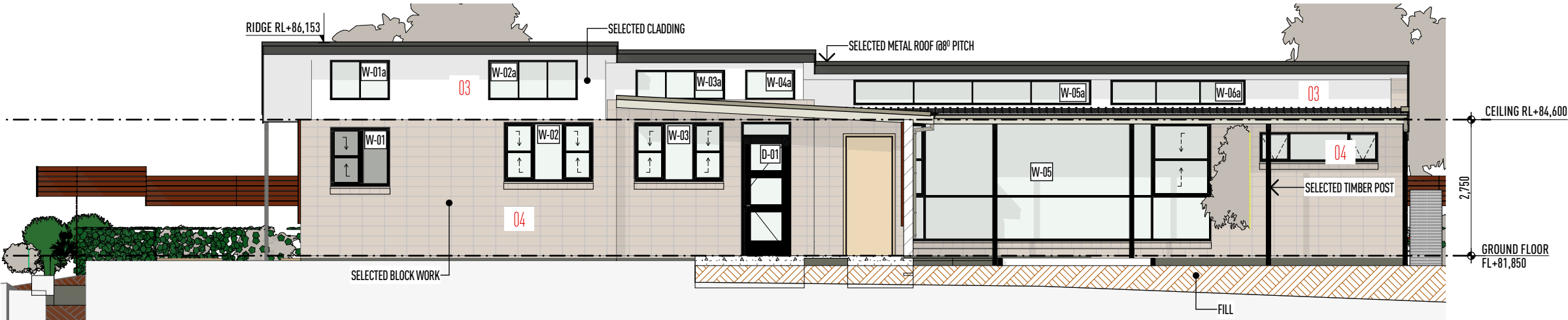


CC-WE2 COMMUNAL WESTERN ELEVATION
Scale 1:100

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					<div>25/08/2023</div>	<div>REV. B</div>	<div>AT/TL</div>	<div>CHECKED</div> <div>CC</div>	<div>REVISION</div> <div>F</div>	<div>SCALE</div> <div>A3</div>	
					<div>08/09/2023</div>	<div>CEILING DETAIL ADDED/SET REDUCED TO A3</div>	<div>REV. C</div>	<div>CC</div>			
					<div>27/02/2024</div>	<div>COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE</div>	<div>REV. D</div>	<div>CCH</div>			
					<div>29/04/2024</div>	<div>ADDITIONAL LANDSCAPE TO STREETSCAPE</div>	<div>REV. E</div>	<div>CCH</div>	<div>DRAWN</div> <div>TL</div>	<div>PRINT DATE</div> <div>8/05/2024</div>	<div>DRAWING No.</div> <div>15 of 24</div>
					<div>07/05/2024</div>	<div>ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S</div>	<div>REV. F</div>	<div>CCH</div>			



CC-WE2 COMMUNAL WESTERN ELEVATION
Scale 1:100

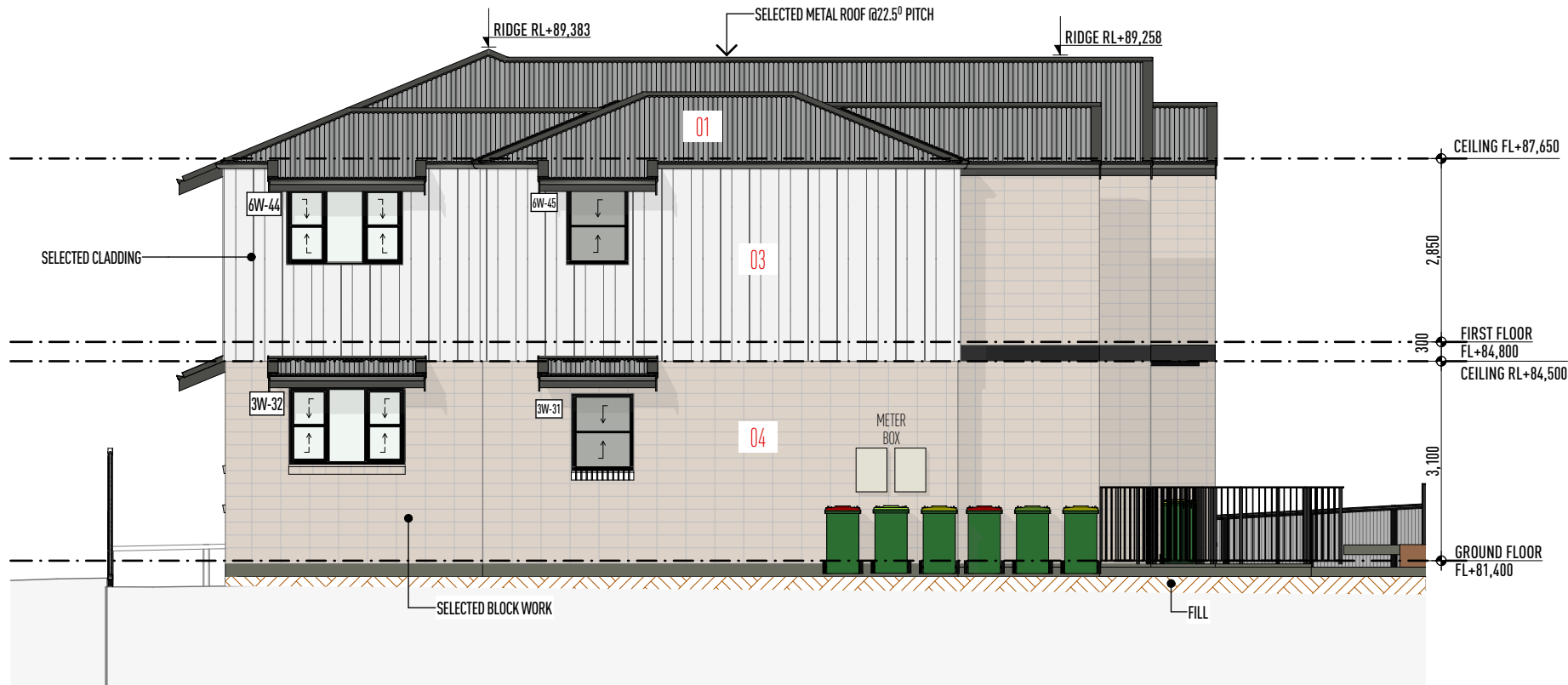


CC-WE3 CORE WESTERN ELEVATION
Scale 1:100



CC-EE02 CORE EASTERN ELEVATION
Scale 1:100

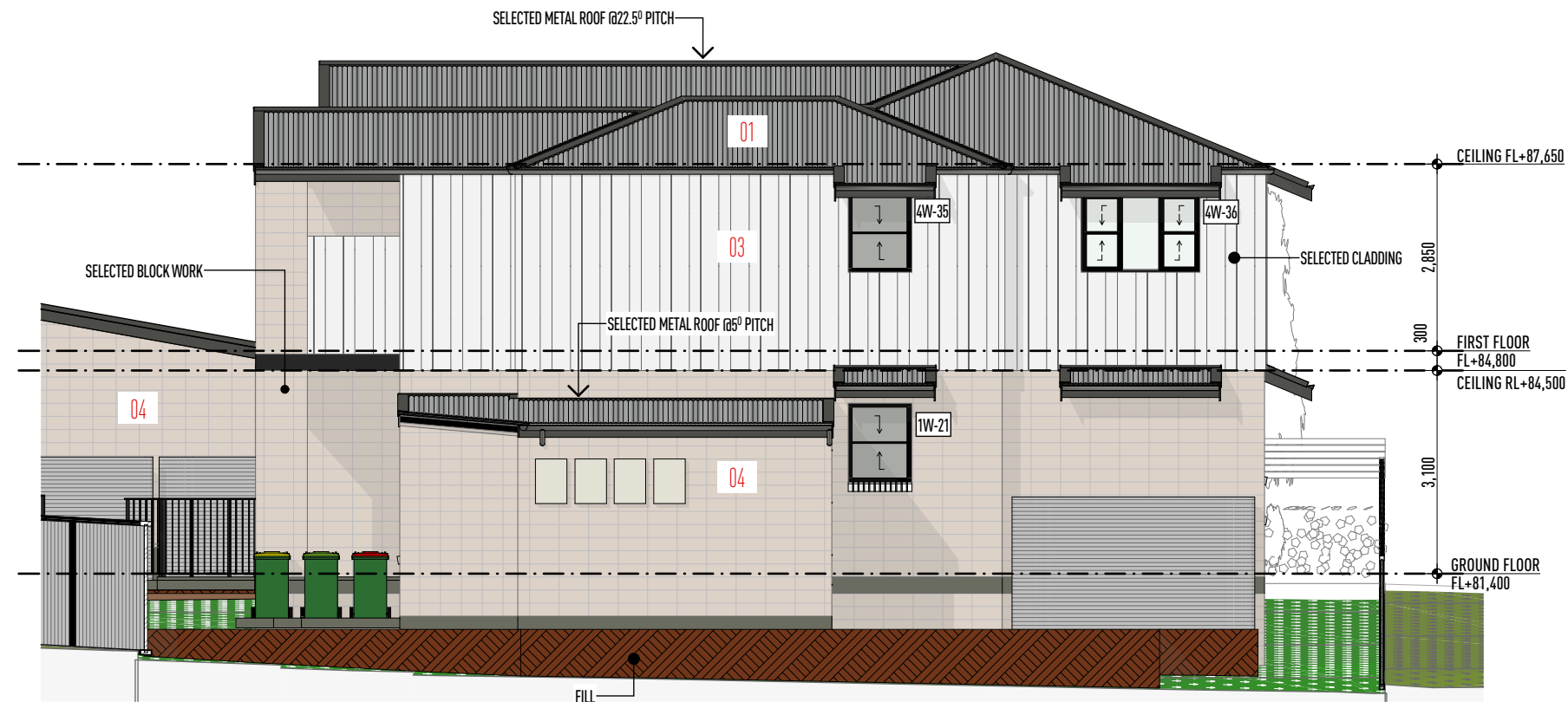
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					16/08/2023	D.A SUBMISSION	REV. A	CCH	DA		
					25/08/2023	MINOR DESIGN CHANGES	REV. B	AT/TL	CHECKED	REVISION	SCALE
					08/09/2023	CEILING DETAIL ADDED/SET REDUCED TO A3	REV. C	CC	CC	F	A3
					27/02/2024	COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE	REV. D	CCH	DRAWN	PRINT DATE	DRAWING No.
					29/04/2024	ADDITIONAL LANDSCAPE TO STREETSCAPE	REV. E	CCH			
					07/05/2024	ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S	REV. F	CCH			
				TL	8/05/2024	16 of 24					



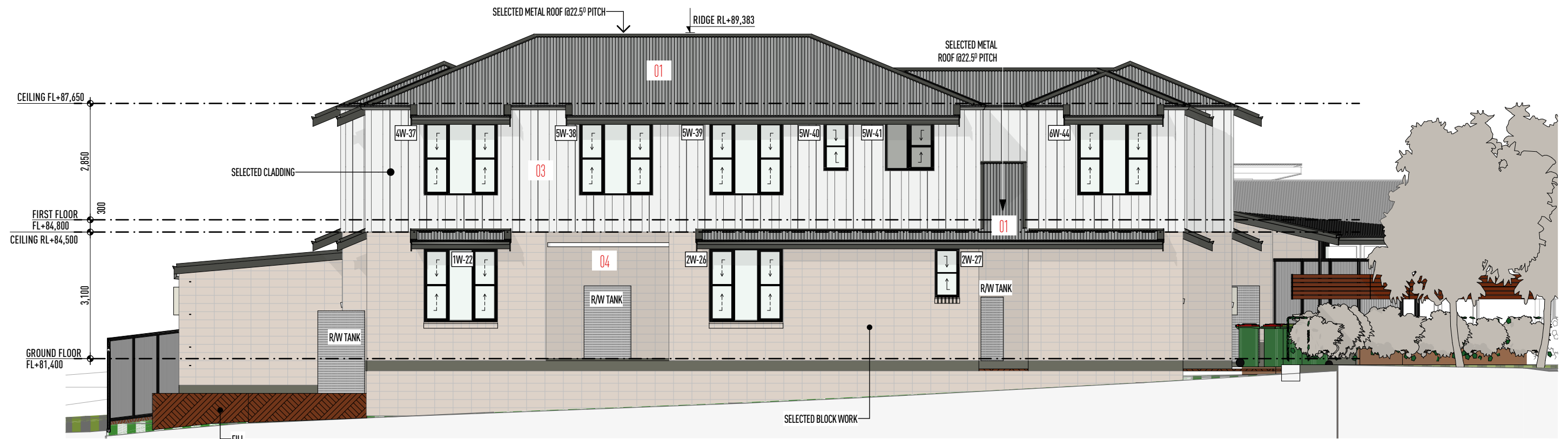
U-NEE RESIDENTIAL NORTH EAST ELEVATION
Scale 1:100



U-NWE RESIDENTIAL NORTH WEST ELEVATION
Scale 1:100

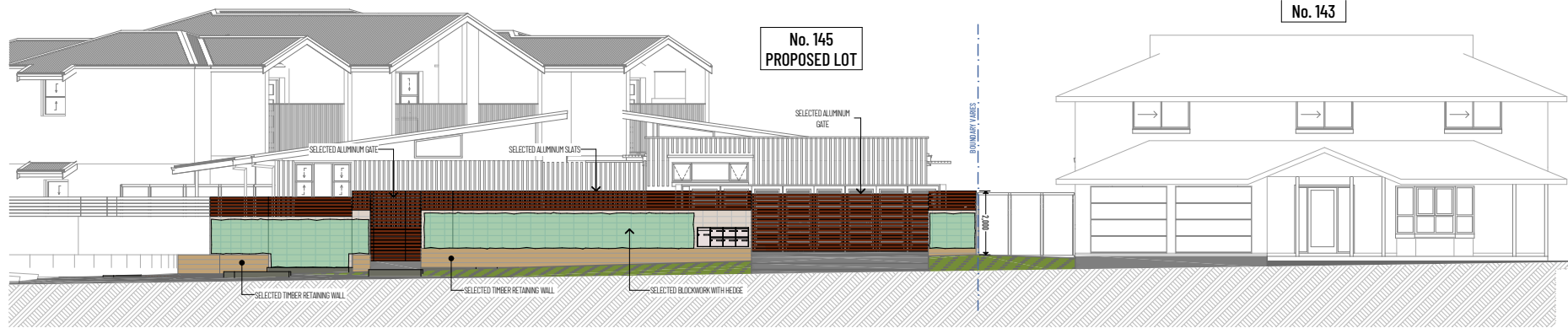


U-SWE RESIDENTIAL SOUTH WEST LEVATION
Scale 1:100

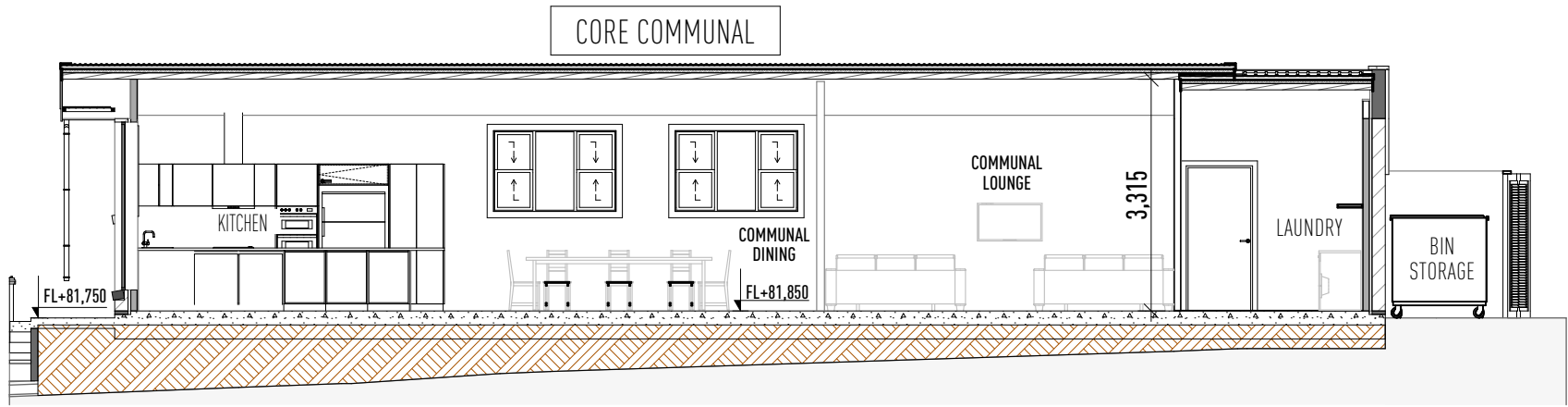


U-SEE RESIDENTIAL SOUTH EAST ELEVATION
Scale 1:100

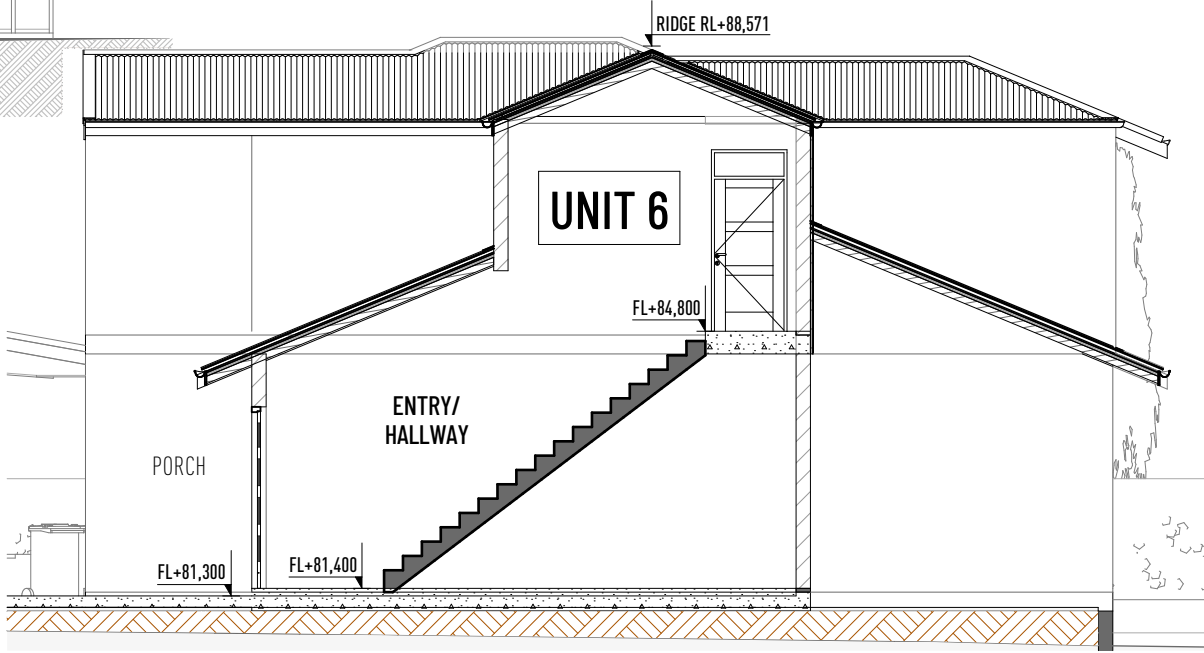
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					<div>25/08/2023</div>	<div>MINOR DESIGN CHANGES</div>	<div>REV. B</div>	<div>AT/TL</div>	<div>CHECKED</div> <div>CC</div>	<div>REVISION</div> <div>F</div>	<div>SCALE</div> <div>A3</div>
					<div>08/09/2023</div>	<div>CEILING DETAIL ADDED/SET REDUCED TO A3</div>	<div>REV. C</div>	<div>CC</div>			
					<div>27/02/2024</div>	<div>COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE</div>	<div>REV. D</div>	<div>CCH</div>	<div>DRAWN</div> <div>TL</div>	<div>PRINT DATE</div> <div>8/05/2024</div>	<div>DRAWING No.</div> <div>20 of 24</div>
					<div>29/04/2024</div>	<div>ADDITIONAL LANDSCAPE TO STREETSCAPE</div>	<div>REV. E</div>	<div>CCH</div>			
					<div>07/05/2024</div>	<div>ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S</div>	<div>REV. F</div>	<div>CCH</div>			



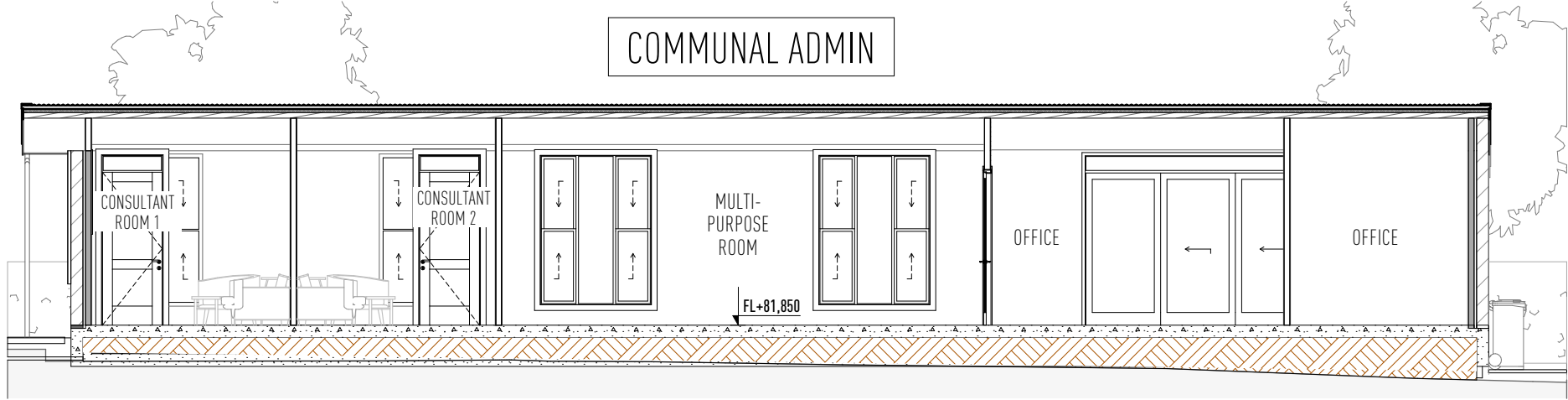
STREETSCAPE ELEVATION
Scale 1:200



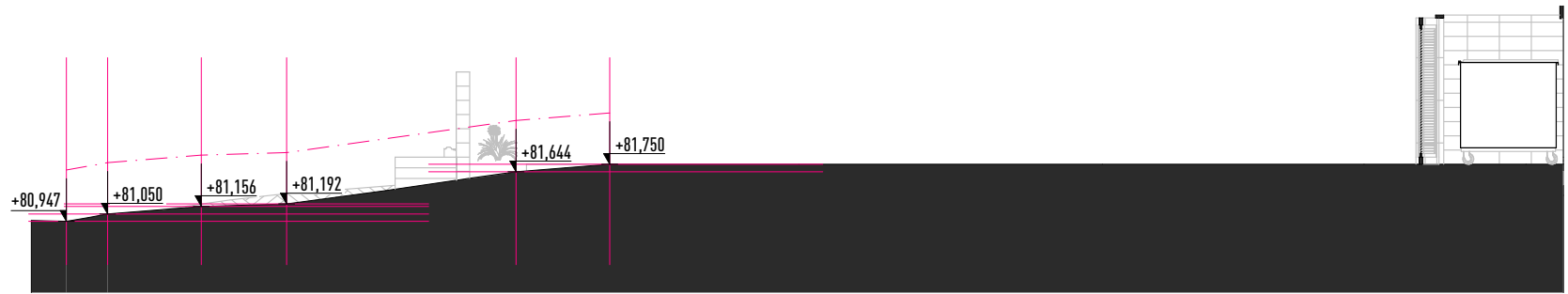
S-01 SECTION 01
Scale 1:100



S-07 SECTION 07
Scale 1:100

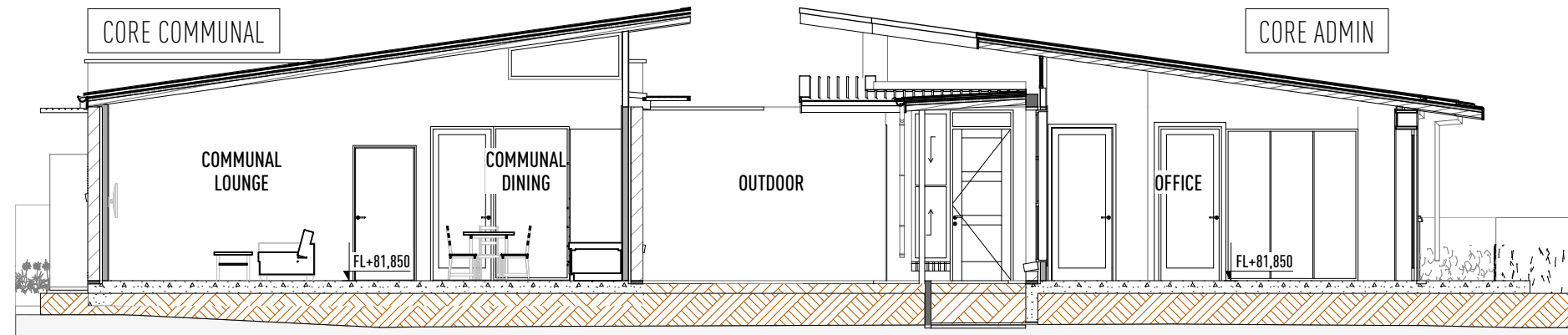


S-02 SECTION 02
Scale 1:100

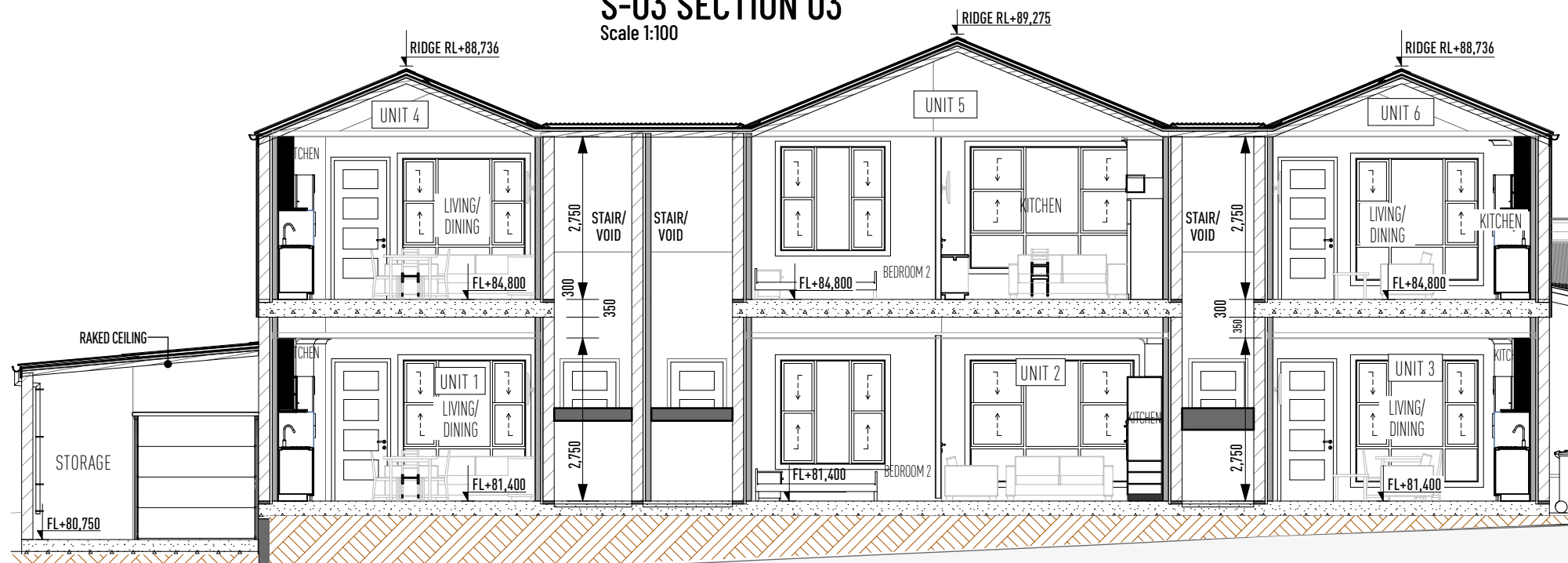


DS-01 DRIVEWAY SECTION 01
Scale 1:100

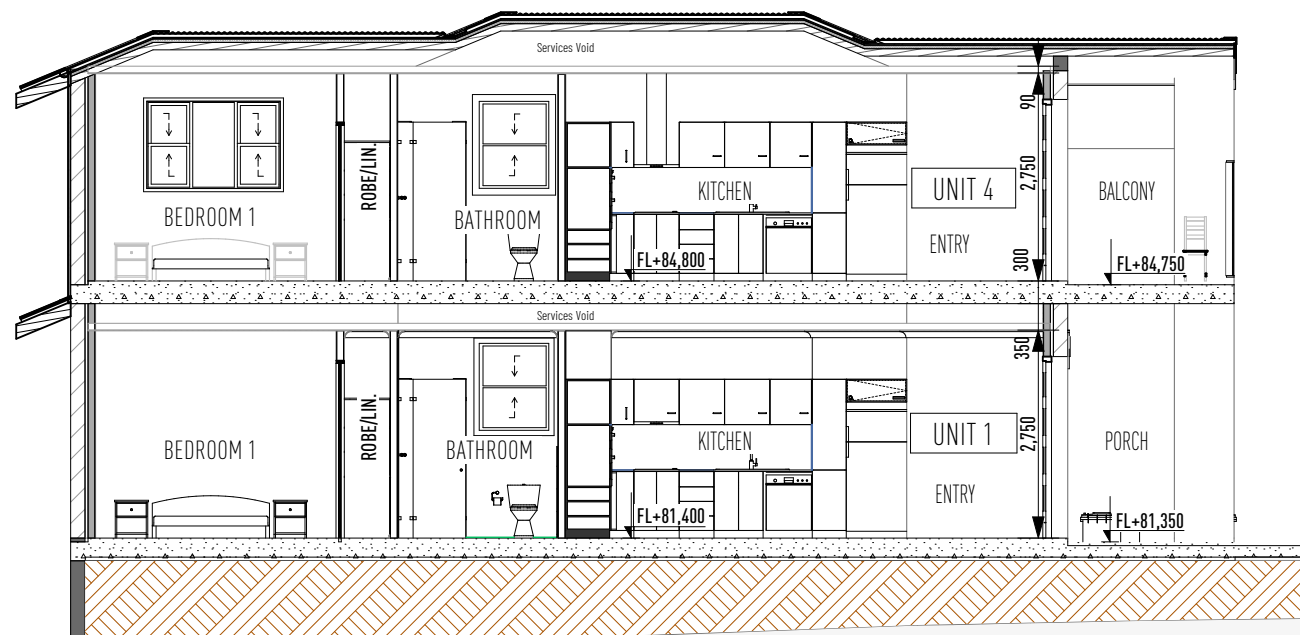
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					25/08/2023	MINOR DESIGN CHANGES	REV. B AT/TL	CHECKED.	REVISION	SCALE
					08/09/2023	CEILING DETAIL ADDED/SET REDUCED TO A3	REV. C CC	CC	F	A3
					27/02/2024	COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE	REV. D CCH	CC		
					29/04/2024	ADDITIONAL LANDSCAPE TO STREETSCAPE	REV. E CCH	DRAWN	PRINT DATE	DRAWING No.
					07/05/2024	ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S	REV. F CCH	TL	8/05/2024	21 of 24



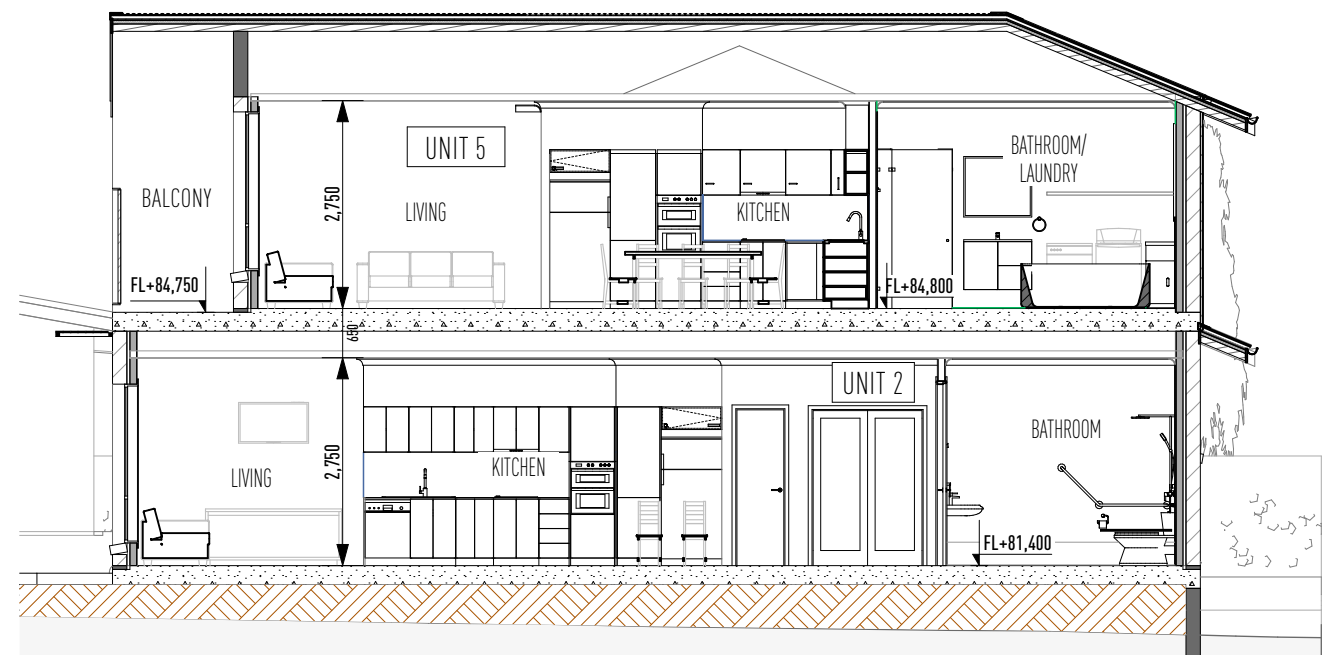
S-03 SECTION 03
Scale 1:100



S-04 SECTION 04
Scale 1:100

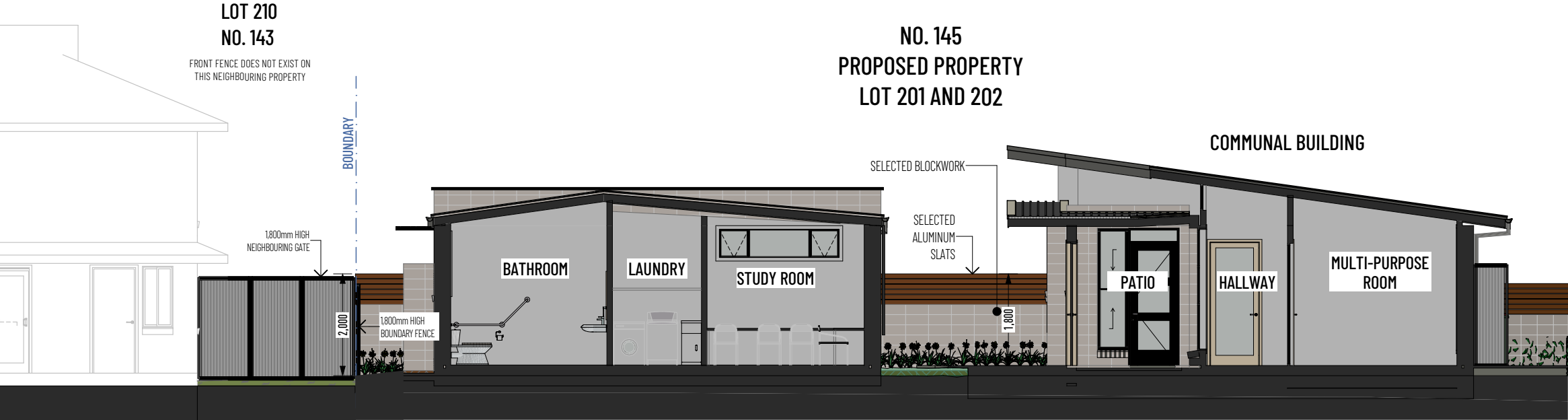


S-05 SECTION 05
Scale 1:100



S-06 SECTION 06
Scale 1:100

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					25/08/2023	MINOR DESIGN CHANGES	REV. A A7/TL	CHECKED CC	REVISION F	SCALE A3
					08/09/2023	CEILING DETAIL ADDED/SET REDUCED TO A3	REV. C CC	DRAWN TL	PRINT DATE 8/05/2024	DRAWING No. 22 of 24
					27/02/2024	COUNCIL COMMENTS - STREETSCAPE AND ADJUSTMENT TO GARDEN BED ON FRANCIS PLACE	REV. D CCH			
					29/04/2024	ADDITIONAL LANDSCAPE TO STREETSCAPE	REV. E CCH			
					07/05/2024	ADDITIONAL SECTIONS ON NEIGHBOURING FENCE/S	REV. F CCH			



FS-01 FENCE SECTION 01
Scale 1:100



FS-02 FENCE SECTION 02
Scale 1:100

DOOR SCHEDULE			
ID	1D-12, 2D-15, 3D-17, 4D-13, 4D-18, 5D-14, 5D-19, 6D-16, 6D-20, 6D-22, D-12	D-01, D-02, D-05, D-06	D-04
W x H	1,000×2,400	1,000×2,700	4,800×2,700
ELEVATION			
NOTES			
QTY	11	4	1

WINDOW SCHEDULE												
ID	1W-20, 3W-20, 4W-34, 6W-46	1W-21, 3W-31	1W-22, 2W-26, 4W-37, 5W-38, 5W-39, 6W-44	2W-24	2W-25	2W-27, 5W-40	3W-32, 4W-36, 6W-44	4W-35, 6W-45	5W-41	5W-42	5W-43	W-01
HOUSE	UNIT 1, 3, 4 & 6	UNIT 1, 3, 4 & 6	UNIT 1, 2, 3, 4, 5 & 6	UNIT 2 & 5	UNIT 1, 2, 3, 4, 5 & 6	UNIT 2 & 5	UNIT 1, 3, 4 & 6	UNIT 1, 3, 4 & 6	UNIT 2 & 5	UNIT 2 & 5	UNIT 1, 2, 3, 4, 5 & 6	CORE ADMIN
W x H	2,110×2,100	970×1,200	1,810×1,800	2,810×2,100	1,810×1,800	610×1,200	1,810×1,200	970×1,200	1,210×1,200	2,810×2,100	1,810×1,800	1,210×1,200
HEAD HEIGHT	2,400	2,600	2,700	2,400	2,400	2,700	2,700	2,700	2,700	2,600	2,600	2,600
ELEVATION												
NOTES		OBSCURE GLAZING						OBSCURE GLAZING				OBSCURE GLAZING
QTY	4	2	6	1	1	2	3	2	1	1	1	1

WINDOW SCHEDULE												
ID	W-01a	W-02, W-03	W-02a	W-03a	W-04, W-08, W-09	W-04a	W-05	W-05a	W-06, W-07	W-06a	W-10	W-10
HOUSE	CORE ADMIN	CORE ADMIN	CORE ADMIN	CORE ADMIN	CORE ADMIN	CORE ADMIN	CORE ADMIN	CORE ADMIN	CORE ADMIN	CORE ADMIN		CORE ADMIN
W x H	1,200×800	1,810×1,200	1,800×800	1,800×600	610×2,400	1,000×600	7,000×2,400	4,800×500	1,800×2,400	2,720×500	2,400×600	1,800×1,200
HEAD HEIGHT	1,200	2,700	1,200	1,000	2,700	1,000	2,700	800	2,700	800	2,500	2,700
ELEVATION												
NOTES												
QTY	1	2	1	1	3	1	1	1	2	1	1	1

WINDOW SCHEDULE												
ID	W-10a	W-11	W-12, W-13, W-14	W-15	W-16	W-16a	W-17	W-17a	W-18	W-18a	W-19	W-19a
HOUSE	CORE COMMUNAL	CORE COMMUNAL	CORE COMMUNAL	CORE COMMUNAL		CORE COMMUNAL	CORE COMMUNAL	CORE COMMUNAL	CORE COMMUNAL	CORE COMMUNAL	CORE COMMUNAL	CORE COMMUNAL
W x H	1,500×761	600×1,200	1,800×1,200	1,010×2,400	2,810×2,100	2,720×2,100	3,700×2,100	3,700×900	1,800×2,100	1,800×900	2,400×600	1,800×753
HEAD HEIGHT	850	2,600	2,600	2,700	2,400	2,700	2,700	1,100	2,700	1,100	2,700	1,189
ELEVATION												
NOTES												
QTY	1	1	3	1	1	1	1	1	1	1	1	1